

THE
FOUNDATIONS
PORTLAND NSW



Development Control Plan
April 2023



WILLOWTREE PLANNING

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GLOSSARY

Term	Definition
Amenity	'Liveability' of a place that makes it pleasant and agreeable for individuals and the community. Amenity includes, but is not limited to, the enjoyment of sunlight, views, privacy and quiet.
Articulation	Variations to the bulk, form, height, setbacks, openings and materials of a building that can create visual interest, avoid dominance of large and/or blank walls, and integrate with street and neighbouring building character
Fine grain rhythm	Smaller consistent development style, being similar housing typologies repeated along a road or through a precinct.
Clipped corner lot	A lot that is splayed back from the corner.
Interior corner lot	A lot that is adjacent to a corner lot.
Offset lot frontage	The frontage is not immediately in front of the main area of the lot.
Foundations	The entire area to which this DCP applies as specified in Section 1.3.
Place Precincts	The six precincts and separate areas that are located within the Foundations.

PART 1 PRELIMINARY

1.1 AIMS AND OBJECTIVES OF DCP

This Plan is known as the *Foundations Development Control Plan 2022* (Foundations DCP) for which it applies to the land known as the Foundations site. It has been prepared in accordance with the provision of Division 6 of the Environmental Planning and Assessment Act 1979 (EP&A Act) and Part 2, Division 2 of the Environmental Planning and Assessment Regulation 2021 (EP&A Regulation).

The principal aims of the Foundations DCP are listed as follows:

- To enable the delivery of environmentally, economic and socially sustainable development;
- To promote innovative and flexible development that will relate to its surroundings both man-made and natural;
- To provide high quality design and amenity for all development;
- To facilitate the creation of publicly accessible open space areas;
- To create the Foundations as a vibrant and active mixed-use community;
- To provide connections to required services to meet the future needs of the Precinct;
- To enhance and protect key environmental features, cultural and Indigenous heritage of the area.
- Provide a diversity of housing options from larger lots to the north of the site to suit the landscape and terrain through to smaller lot typologies in the centre of the site that do not impact the character of existing surrounding areas.
- Integrate new commercial land uses and spaces and adaptive re-use of heritage buildings to activate the southern areas near the existing town centre.
- To ensure development is guided by the principles of Crime Prevention through Environmental Design.
- Provide legible pedestrian links to the surrounding areas.
- Physically connect with the lakes where possible with recreation and communal amenity.
- Enhance and protect view corridors to water bodies and landscape features.
- Protect significant vegetation clusters and create pocket parks with green emphasis.
- Treat the water's edge sensitively and ensure unbroken communal access.
- Weave built form into natural topography and minimise visual impacts of cut/ fill.

The Foundations DCP has been developed in response to the amendments to zoning provisions through the planning proposal made through amendment to the Lithgow Local Environmental Plan 2014 (LLEP 2014). The Foundations DCP should be read in conjunction with the Place-Led DCP Primer provided at **Appendix 1**. This document supports the overarching design intent and provides vision for the aims and objectives of this DCP.

The DCP includes specific objectives that address the principal development standards listed within the LLEP 2014 and the planning principles developed during the precinct planning process. The associated controls have been designed to address the key environmental impacts identified as part of the technical investigations undertaken to inform the LEP amendment.

1.2 STRUCTURE OF THE DCP

The DCP is structured into six (6) sections as outlined within the following table.

TABLE 1. STRUCTURE OF DCP	
Part	Description
1 - Introduction	Outlines the principal aims and objectives of the DCP, the land to which it applies and its relationship to other plans.
2 - Masterplanning and Staging	Provides detailed development controls to guide the siting and design of the future development of the site, including subdivision parameters, development staging and precinct identification. All development applications should consider this part of the DCP.
3 - Recreation Areas	Provides guidance and design intent for passive and active recreation areas.
4 - Landscaping Requirements	Provides detailed development controls to ensure the protection and enhancement of riparian areas and remnant vegetation, including visually prominent locations. Provides detailed landscaping requirements for both the public and private domain.
5 - Residential Design	Provides detailed development controls for residential development including preferred mix and typologies, built form, height, massing, orientation, and amenity.
6 - Commercial and Mixed Use	Provides detailed development controls for commercial and mixed-use development including built form, height and streetscape.
7 - Transport, Access and Car Parking	Details the transport and traffic-related matters, including transport movement hierarchy, vehicle access, car parking, public transport, cycling, walking and road widening.
8 - Stormwater and Water Quality Management	Outlines the stormwater and water quality matters, stormwater quantity and quality management and rainwater harvesting and re-use.
9 - Environmental Management	Describes the key environmental issues relevant to the site and its context and the potential impacts arising from future development. These include biodiversity, heritage conservation, ecologically sustainable development, noise and vibration, air quality and odour, waste management and environmental risk management.

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The Foundations

10 - Infrastructure and Services	Identifies the required infrastructure and utility services and upgrades, including roads, water, sewer, electricity and telecommunications.
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1.3 LAND TO WHICH THE DCP APPLIES

The DCP applies to land within the Foundations Site and should be read in conjunction with the *Lithgow Local Environmental Plan 2014* (LLEP 2014).

The land parcels affected are outlined in TABLE 2 below. **Figure 1** below also shows the extent of the land the DCP applies.

TABLE 2. AFFECTED LAND PARCELS	
Legal Description(s)	Site Address
Lot 1 DP1227369	Williwa Street, Portland
Lot 4 DP1227369	Williwa Street, Portland
Lot 1 in DP109592	Williwa Street, Portland
Lot 1 in DP842890	Forest Street, Portland
Lot 5 in DP749907	Williwa Street, Portland
Lot 6 in DP749908	Williwa Street, Portland
Lot 7 in DP749909	Williwa Street, Portland
Lot 24 Section 46 in DP758855	Forest Street, Portland
Lot 53 in DP755769	The Portland Cement Works Precinct, Williwa Street, Portland
Lot 104 in DP755769	Carlton Street, Portland

It is noted that this DCP overrides any provisions of the *Lithgow Development Control Plan 2021* (Lithgow DCP 2021) where it may have previously applied to any parcels of land as described above, unless otherwise described within this DCP.

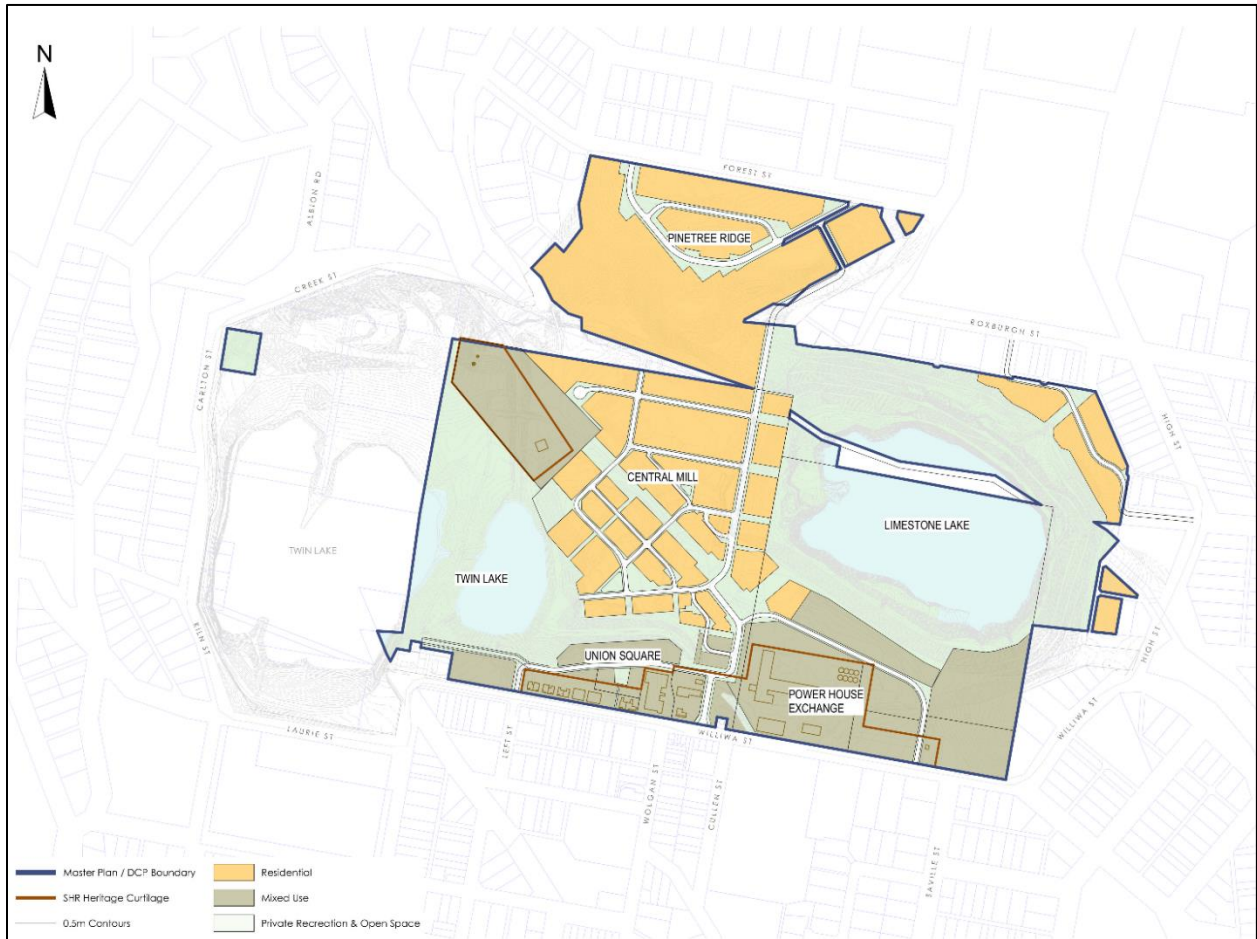


Figure 1. Land to which the Foundations DCP 2022 applies

1.4 RELATIONSHIP TO OTHER PLANS

This DCP has been prepared to provide detailed development controls to guide the preparation and assessment of development proposals on land located within the Foundations Site. As outlined above, this DCP shall prevail over the Lithgow DCP 2021 for all land to which this DCP applies.

The land use provisions and development standards within LLEP 2014 and the detailed development controls within this DCP comprise the principal planning provisions relevant to the development of the Foundations Site.

1.5 EXEMPT AND COMPLYING DEVELOPMENT

The *State Environment Planning Policy (Exempt and Complying Development Codes) 2008* (Codes SEPP) may permit certain development that is considered as exempt or complying development without requiring a development application to Council if it complies with the requirements of the Codes SEPP. This DCP does not permit any additional exempt or complying development for the Foundations.

PART 2 MASTERPLAN

2.1 VISION AND PRINCIPLES

The vision for The Foundations, as a sustainable mixed-use village, is to become a unique regional destination that captivates the senses and inspires the soul. With a rare combination of industrial heritage and picturesque natural beauty, The Foundations will be a vibrant, regional destination that offers a diverse range of cultural, culinary, community and recreational experiences that make it perfect for a short stay or a more permanent lifestyle change. The Place Led DCP Primer (**Appendix 1**), provides the underlying support for the vision and principles and provides examples of place led design being implemented.

The following principles shall be used to guide the planning, design and development of The Foundations.

- **Historic-** A place that carries a shared heritage, with stories that shape and enrich the social fabric of the community. The Foundations will honour the past and welcome the future.
- **Resilient-** Despite historic circumstances, The Foundations is place that has bounced back. Its resilient nature will continue to allow it to thrive for years to come.
- **Inclusive-** The Foundations, Portland will be a welcoming, transparent, inviting and approachable place. The diversity of people, personalities, cultures and work within The Foundations will be distinct and accommodated through its places, spaces and offerings.
- **Pioneering-** The Foundations is a pioneer in placemaking and community building. It will create destinations, partnerships and provide skills and innovation within the regional economy.
- **Authentic-** True to the Vision and evolving Community, The Foundations are proud of Portland's working-class roots. The Foundations is a place that is not manufactured, false or copied. It will be a place that leverages off the strengths, qualities and assets that have defined the place and the town.
- **Creative-** The Foundations will inspire experiences and spaces where arts and culture flourish. Artisan aesthetics of crafted places and spaces will inspire and transform the place and people.
- **Community culture-** The value of 'providing for us and we provide for you' are qualities of the community that allow for a strong sense of connectedness and social cohesion.
- **Safe –** The Foundations will promote safety and security through good design outcomes, including CPTED
- **Sustainable-** The Foundations will be a place that positively contributes climatatic, health and movement conditions to ensure smart new community development, walkability, enhances local economic development and quality of life.
- **Wellbeing-** The Foundations will be a place that provides for physical, mental and social well-being. It will be a place that encourages active living, access to local amenity, walkable, pedestrian environments that supports arts and cultural experiences

2.2 MASTERPLAN DESIGN

The Master Plan (**Figure 2**) illustrates the general development outcomes including the development footprint, land use, mobility network, open space and recreational areas and retention of the existing heritage buildings. The key design elements underpinning the master plan are:

- Create a series of identifiable precincts and places informed by the site's natural features, heritage and relationship to the town and adjoining neighbours.
- Provide a diversity of housing options from larger lots to the north of the site to suit the landscape and terrain through to smaller cottage lot typologies in the centre of the site that complement time-proven housing typologies across the LGA.
- Integrate new commercial land uses and spaces and adaptive re-use of heritage buildings to activate the southern areas near the existing town centre.
- Provide legible mobility network giving priority to people walking, cycling and driving – in that order.
- Provide public access to the lakes via a network of interconnected lake-front parklands with a diversity of recreation opportunities.
- Provide where possible view corridors to visually connect people to the existing town, heritage features, landscape features, and new built form enhancing the overall experience of the place.
- Protect significant vegetation clusters and create pocket parks with green emphasis.
- Provide a diversity of lake and park edge experiences ranging from intensely active edges close to town to tranquil natural edges away from town. Integrate where possible earthworks, street design, lots and building form to a diversity of experiences in response to topography.

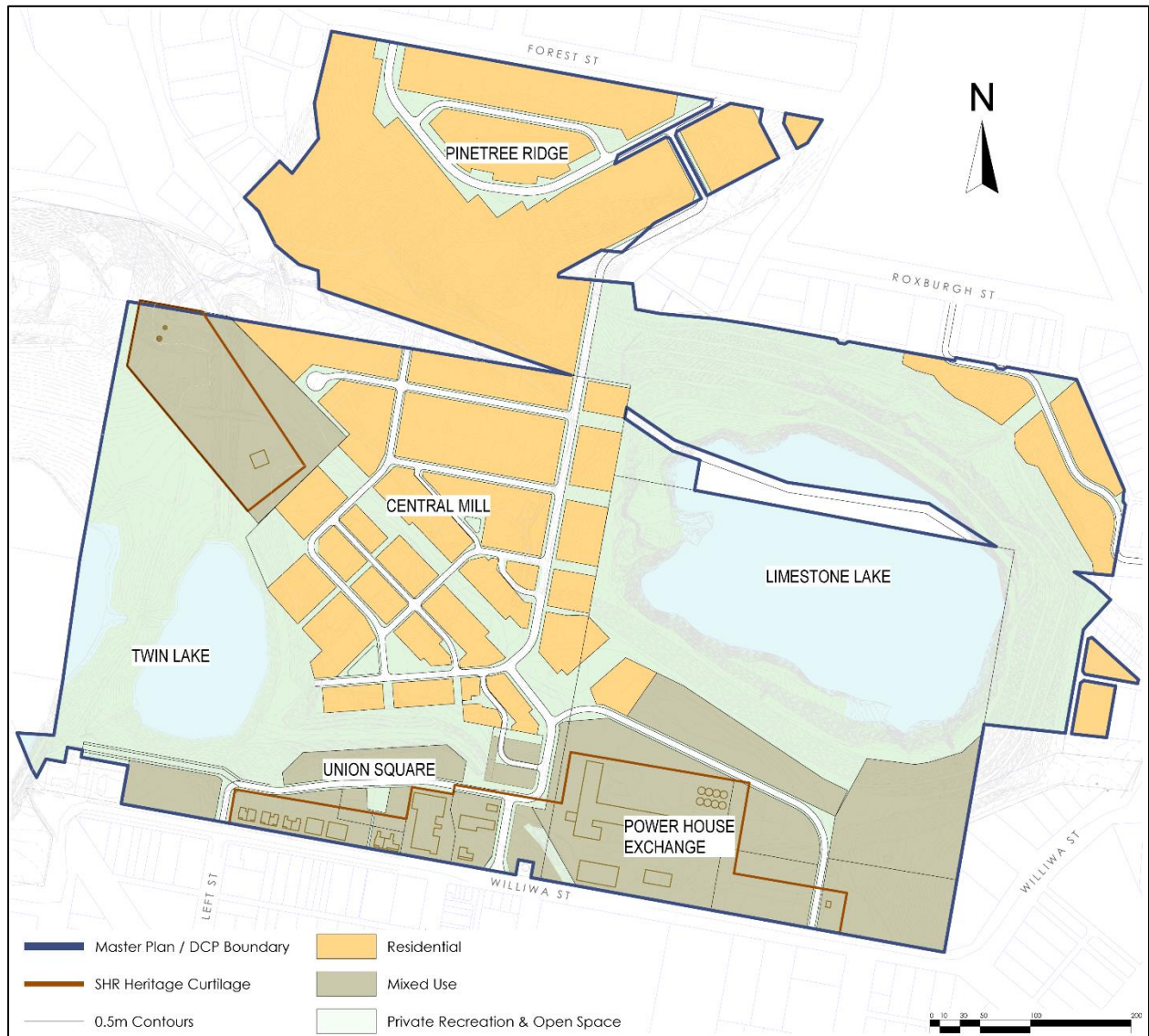


Figure 2. Master Plan

2.3 PLACE PRECINCTS

Place Precincts have been established to ensure the character and identity is reflective of the look and feel unique to that setting. These distinct Place Precincts have been defined based on a range of attributes including topography, vegetation, the existing lakes, historical buildings, proposed land uses and proximity to the adjoining residential and town centre areas. The Place Precincts will allow the various areas of the site to be easily identifiable in terms of the identity, physical setting, activities and future offerings.

The six Place Precincts comprise:

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The Foundations

1. Union Square
2. Powerhouse Exchange
3. Limestone Lake
4. Pinetree Ridge
5. Twin Lake
6. Central Mill

Refer to **Figure 3** below.

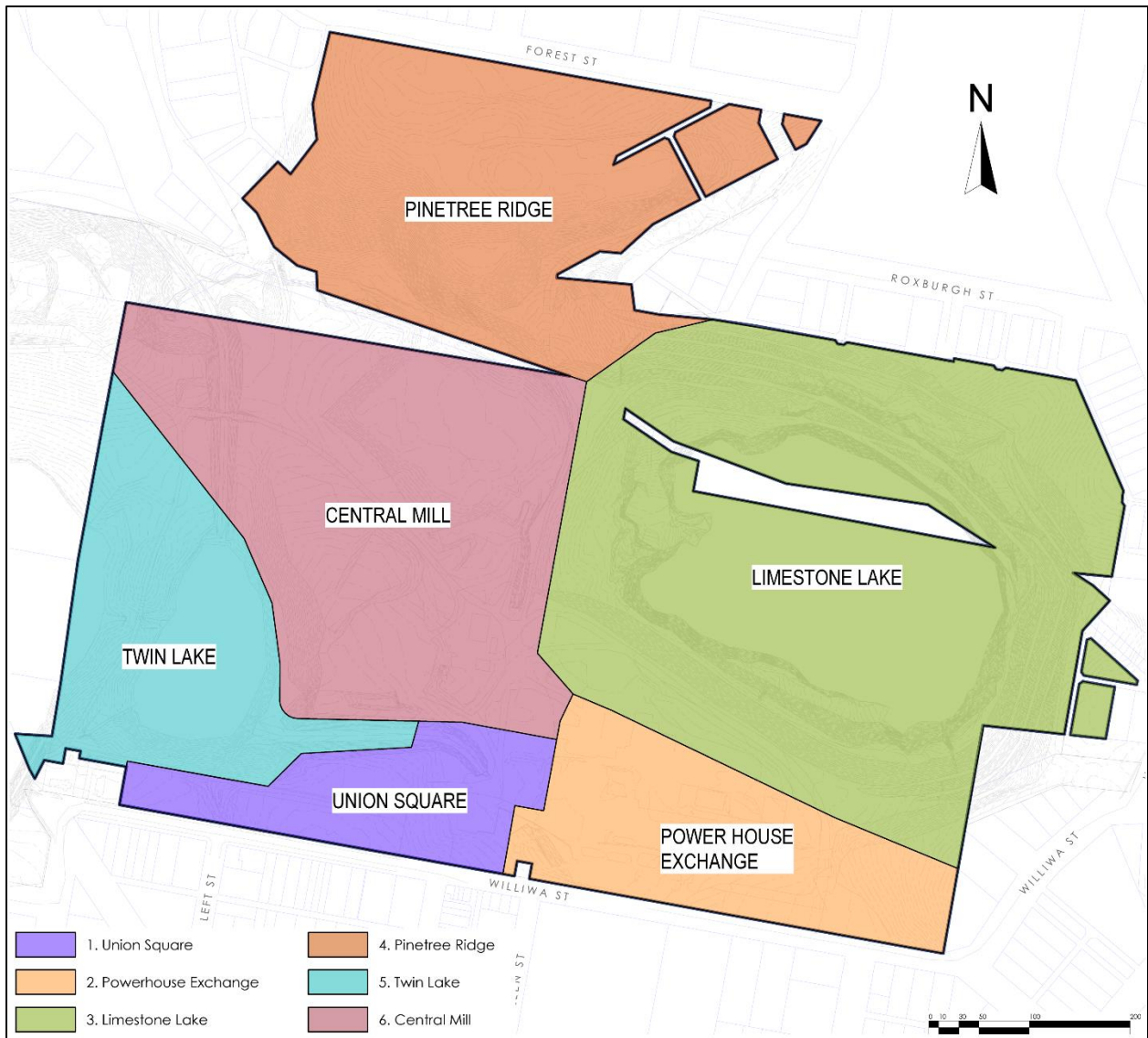


Figure 3. Precinct Map

2.3.1 UNION SQUARE

Vision

Connecting the main thoroughfare street adjoining the Foundations site and the local town of Portland, Union Square has the opportunity to showcase the local and supportive characteristics of Portland and its community through a friendly, welcoming and relaxed atmosphere reflected in the buildings, activities, street interface and people. Along Williwa Street behind some of the existing heritage significant cottages, visitors and residents can take a step back in time, to a place where the yesteryears of Portland are showcased; a destination where you can reflect on the stories and historical qualities of Portland through the public domain treatments, buildings and public art.

Desired Future Character

- Streetscape with fine grain rhythm
- A comfortable place to meet family and friends, read, enjoy a coffee or pastry from the local bakery and work remotely outdoors
- Family friendly environment with breakout spaces with natural play elements incorporated in the public furniture
- An atmosphere and setting which reflects the anecdotal stories and accounts of "life working at the former Portland Cement Works"

Uses and Activities

- Short-term accommodation
- Retail and café
- Complementary offerings for the local town centre
- Restored cottages connected with space for lingering, staying and socialising
- Residential development that supports the heritage cottages
- Art spaces/ mural walls
- Diversity of dining options through the day and night-time
- Day to day public plaza, where smaller scale activities occur as well as local events
- A local meeting place with seating, public furniture and outdoor activities for all ages
- Relaxed walking pace, with opportunity connections to continue walking to the Twin Lake Loop walk

Controls

1. All development is to be undertaken generally in accordance with the Precinct's intended uses and activities
2. All development to reinforce the Precinct's vision and desired future character

2.3.2 POWERHOUSE EXCHANGE

Vision

Development in the former industrial building Powerhouse, Boiler House, Bath House Workshop and Administration Building, the Powerhouse Exchange Precinct will be a place recognised for its celebration

of entertainment, culture, art and events. A network of spaces that are socially charged, energetic and enhance celebration, aspirations and memorable experiences. A place that will allow for shows, pop-up events, co-working, conferences, art showcases, entertainment, large-scale forums and performances.

The Foundations Silo Park boasts a perfect entertainment setting for a 'plug-and-play venue' ready for promoters, festivals and concerts. A venue that allows for the creation of unforgettable experiences.

Desired Future Character

- A place to showcase the grandness of the existing heritage buildings with industrial buildings forming an edge to a landscaped public space
- A place where great experiences and moments are celebrated
- Open and landscaped environment with generous green space and gardens
- A place with versatile, flexible and adaptable spaces
- A visual feast of plants, home wares and a relaxing setting for daily meetings of friends and family

Uses and Activities

- Events, artist studio and exhibitions in the existing heritage buildings
- Workspaces
- Open space surrounding the existing silos and on western interface with active connection to Union Square
- Nursery with intimate garden and landscaped open spaces
- A local place to browse, shop and explore the retail nursery;
- A truly flexible space that caters for the best entertainment, music, performance events of the region
- A space that is welcoming on a day-to-day basis, for the youth to use for meeting and socializing

Controls

1. All development is to be undertaken generally in accordance with the Precinct's intended uses and activities
2. All development to reinforce the Precinct's vision and desired future character

2.3.3 LIMESTONE LAKE

Vision

Set along the crescent shaped edge of Limestone Lake, visitors can enjoy the relaxed and animated setting of The Crescent waterfront with local attractions within walking distance. Locals and Visitors can dine at the Limestone Lake Pontoon Restaurant, or enjoy the alfresco setting of The Crescent Restaurant looking across the Precinct activity. Whether its celebrating at the venue hires, enjoying the outdoor

cinemas overlooking the Lake or riding along The Crescent with hire bikes, there is something to enjoy for everyone.

Limestone Lake Hill looks out across the Foundations site, with future residents of Limestone Lake Hill being able to enjoy overlooking the Limestone Lake activities whilst being set away from the bustle. With expansive views and an exclusive setting the destination is a must visit place to replenish and recharge.

A true moment of acknowledgment to the former workings of a successful productive industry; the tranquil Secret Gardens of Portland will be an enchanting destination, rich with planting, designed around a tribute seat looking out across the site for family, friends, former employees of the cement works and visitors to experience.

Desired Future Character

- A place that captures the beauty of the Limestone Lake
- A place that respects the natural qualities of the precinct and the water body
- Ebbs and flow of hard and soft landscaped open spaces with diverse seating spaces
- An enjoyable and relaxing setting for daily meetings of friends and family

Uses and Activities

- Employment and commercial
- Open space/ landscaped walkway
- Diverse mix of residential housing
- A local place to wander, linger and feel inspired by the scenic marvel of the Limestone Lake
- Curated garden setting with seating and look-out across Limestone Lake

Residential Lot Size

- Traditional sized lots (450+sqm) located near employment areas adjacent to the existing housing

Controls

1. All development is to be undertaken generally in accordance with the Precinct's intended uses and activities
2. All development to reinforce the Precinct's vision and desired future character

2.3.4 PINETREE RIDGE

Vision

Set on the furthest northern portion of the site, the Pine Tree Backdrop to Forest Street and the generous and canopy-filled streetscapes allows for a comfortable and scenic visual escape for visitors and residents.

Locals and Visitors can wander across the hill side by foot, hire bikes or on horse back guided rides. Pack a picnic or use the bbq facilities, enjoying the scenery over lunch.

The existing unique topography toward the Historical Bottle Kilns with a steep bushland terrain allows for a private leafy backdrop, looking across to the Heritage Train Track corridor and easy walking access to the Central Mill with the conveniences of local shops, eateries and produce. With the hilly terrain, the setting is an ideal place for keen walkers and trekkers with sweeping views to be enjoyed across the site.

Desired future character

- Leafy outlooks and natural topography
- A community that feels welcoming and embraces visible daily public life
- Good access to natural play elements and native planting
- Well-connected pedestrian streets and cycle-ways
- Complementary aesthetics to the historical Bottle Kilns

Uses and Activities

- Residential homes/ community
- Parks and open spaces
- Play spaces
- A local place where people enjoy visiting and passing through

Residential Lot Size

- Large lots (1000+sqm) and lifestyle lots (800-1000sqm)

Controls

1. All development is to be undertaken generally in accordance with the Precinct's intended uses and activities
2. All development to reinforce the Precinct's vision and desired future character

2.3.5 TWIN LAKE

Vision

A destination scene focused around the largest former quarry Lake in the region. Recognised for its relaxed outdoor recreation and fishing activities, enjoy the serene setting of crystal turquoise blue waters. Circling around the smaller Twin Lake Loop, the setting is an easy walking track with natural elements overlooking waterfront views. Visitors and residents can stroll and take in the surrounds with a furry friend, family or alone, or stop and utilise the facilities overlooking the lake, that could include adult gym equipment, seating and picnic facilities.

Desired future character

- A place to recharge and immerse in outdoor pleasures on the Lake
- A place to escape to an easy outdoor experience
- A place where you can retreat and enjoy the tranquil and serene setting of the natural reserve environment

Uses and Activities

- Twin Lake Loop walk and cycle-way
- Landscaped walking paths
- Play and recreational uses
- Walking, running, cycling and exercising
- Camping and cabin accommodation
- Flexible spaces to use to socialise and enjoy being outdoors
- A local place with scenic views across the Twin Lakes for the enjoyment of outdoor activities including fishing and kayaking

Controls

1. All development is to be undertaken generally in accordance with the Precinct's intended uses and activities
2. All development to reinforce the Precinct's vision and desired future character

2.3.6 CENTRAL MILL

Vision

The Central Mill is a place where people enjoy lingering and want to stay longer to experience the day-to-day living and culture of The Foundations and Portland community. The Precinct's character is anchored by the surrounding charming historical assets, art trails and a friendly bustle of local and visitor activity. future residential neighbourhood will attract the health minded, enjoying the proximity of the waterfront lake, whilst being close to local shops, retail and activity.

Future residents have access to local amenity including a local park, natural play elements, shelter, public art trails, and closed-loop bike paths across the Precinct.

Desired Future Character

- A local place that supports local producer, goods-making and a friendly small town culture
- A local place that showcases the small village charm through boutique tenancies
- Fine grain with walkable streetscape
- A local place that offers an outdoor and recreational lifestyle experience

Uses and Activities

- Retail
- Residential homes/ community
- Open space and recreational spaces
- Historic art trail
- Local amenity parks natural play elements, shelter and closed-loop bike paths

Residential Lot Size

- Combination of small and large lots

Controls

1. All development is to be undertaken generally in accordance with the Precinct's intended uses and activities
2. All development to reinforce the Precinct's vision and desired future character
3. Lots smaller than 300sqm shall be located to meet the following criteria:
 - Within 50m of the central village green
 - Within 400m of retail (daily convenience) and/ or community use such as a community or cultural facility
 - In the areas with greater use of laneways
 - Optimise the number of east west oriented lots
 - In other areas justified by best practice urban design.

2.4 SUBDIVISION DESIGN

Objectives

- a) To provide a diversity of housing choice accommodating all lifestyle choices within a master planned community.
- b) To provide a diversity of lots similar in land area to time-proven precedents located across the LGA, particularly as demonstrated in the townships of Portland and Lithgow (Eg. Waratah Street).
- c) To locate innovative mixed-use lots closer to the town of Portland to attract new retail, commercial and hospitality uses to complement the town.
- d) To locate small cottage lots largely within the Central Mill Precinct and / or locations where cottages coexist within its landscape context.
- e) To locate larger lots towards within the Pinetree Ridge Precinct, lands adjoining Roxburgh St and High St, and / or other locations to diversify housing choice within a sub-precinct.
- f) To ensure functional lots that ensure amenity for any future dwellings or development.
- g) To ensure open space, laneways and roads can be appropriately dedicated to Council.

Controls

1. The subdivision of lots shall generally be in accordance with the Indicative Subdivision Plan in **Figure 4** below.
2. Subdivision techniques including clipped corner lots, interior corner lots, offset lot frontages, and lot boundaries that are not perpendicular to the adjoining curb line are desired.
3. Superlots should be Torrens title subdivided prior to any built form development occurring, to ensure the provision of a diversity of housing can be achieved.
4. Strata subdivision should only occur with a built form or building footprint proposal, unless there is existing built form.
5. A site analysis should be undertaken to support any subdivision, consolidation, boundary adjustment or new road.
6. Subdivision should maximise the number of regular shaped lots, and avoid battle axe lots.
7. Any subdivision should be supported by a concept servicing plan that demonstrates essential utilities can be provided.
8. Any subdivision resulting in 15 or more lots should ensure provision of a range of lot sizes to encourage housing diversity, and consider how corner lots may support future dual occupancies or attached/abutting dwellings.
9. Battle axe lots should be limited, and demonstrate that access can be achieved with ample width along the access handle. The access handle is not to be included in the total lot size.
10. Subdivision for lots less than 250m² in area should demonstrate that ample building footprint and setbacks can be provided, in line with Part 5 of this DCP.
11. Where subdivision will result in a pocket park or open space that is public, proof of agreement with Council should be provided with the application.
12. Non-residential subdivision should ensure appropriate vehicle access can be provided including circulation spaces, and provide an indicative building envelope. Consideration for off-street carparking, loading and servicing should also be provided.

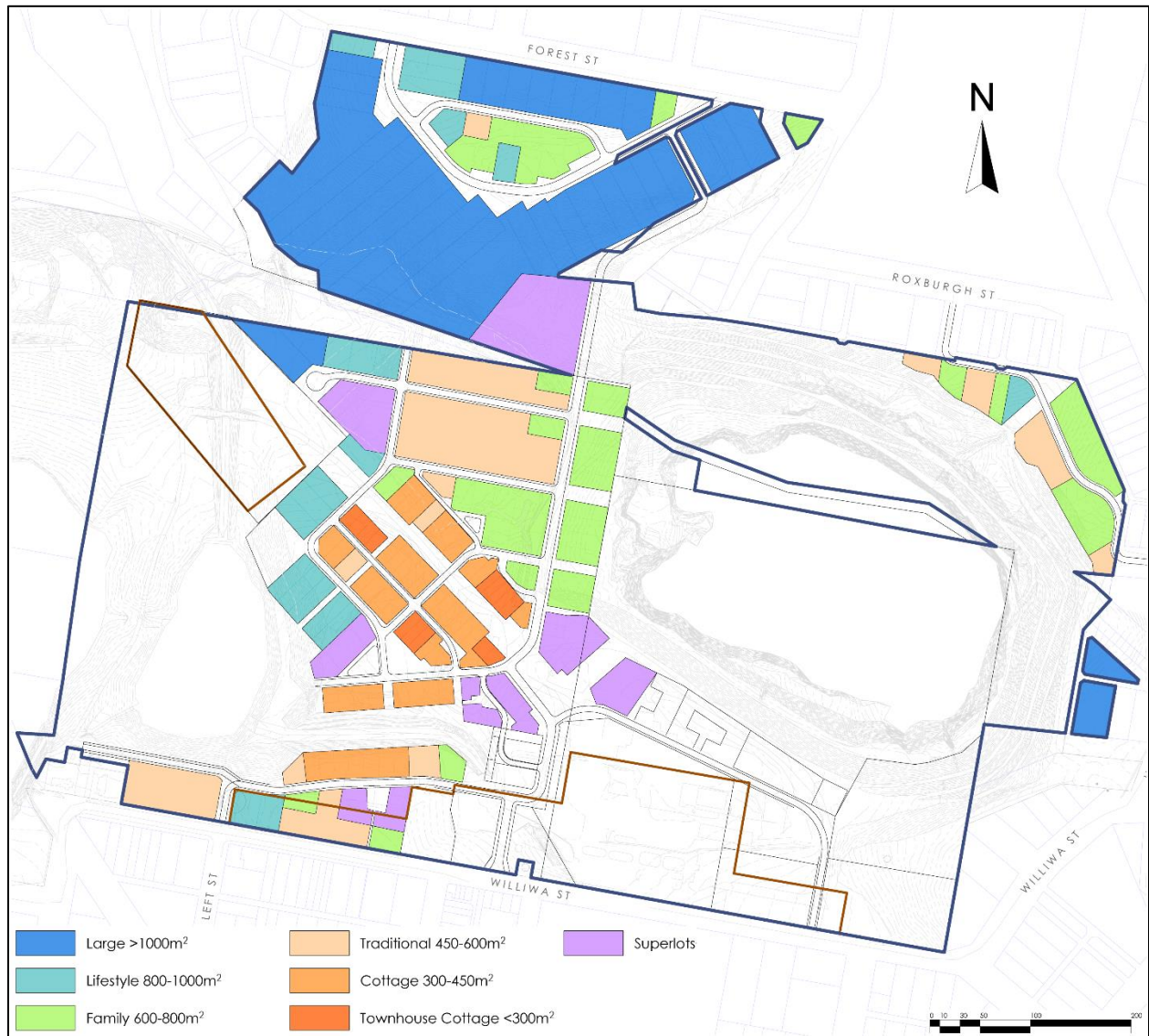


Figure 4. Indicative Subdivision Layout

2.5 STAGING

Objective:

- (a) To ensure orderly development in a logical sequence.
- (b) To ensure infrastructure is provided in a logical sequence and ensure all development has access to key services.

Controls:

- 1. Development should be delivered in a sequence generally in accordance with **Figure 5**. Services are generally to be delivered in accordance with

2. **Figure 6.**
3. Stormwater infrastructure should generally be provided and staged in accordance with **Figure 7.**
4. Any out of sequence development should demonstrate the ability to connect to infrastructure and services required to support the development.



Figure 5. Indicative Staging Plan

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

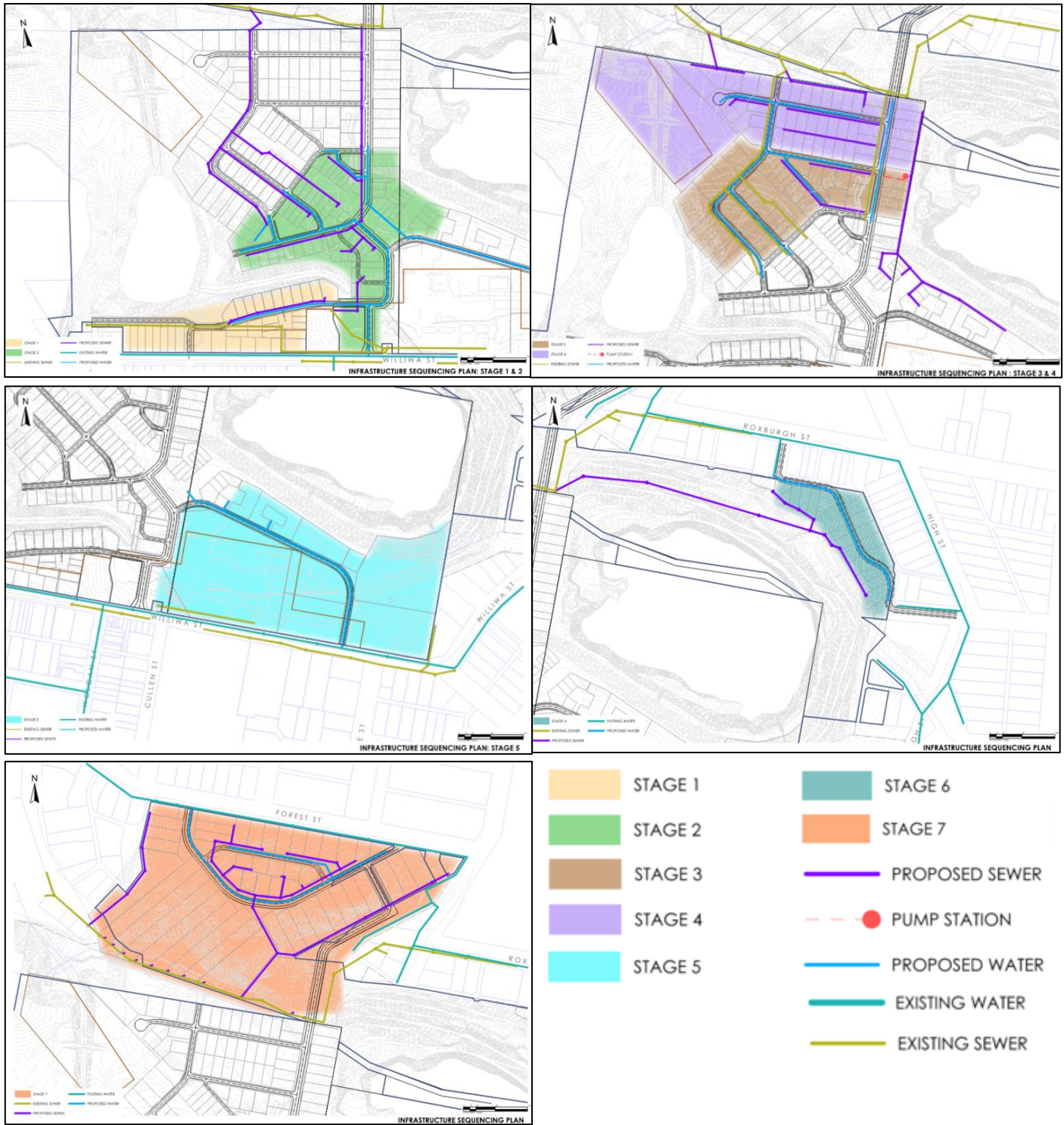


Figure 6. Concept Services Staging Plan

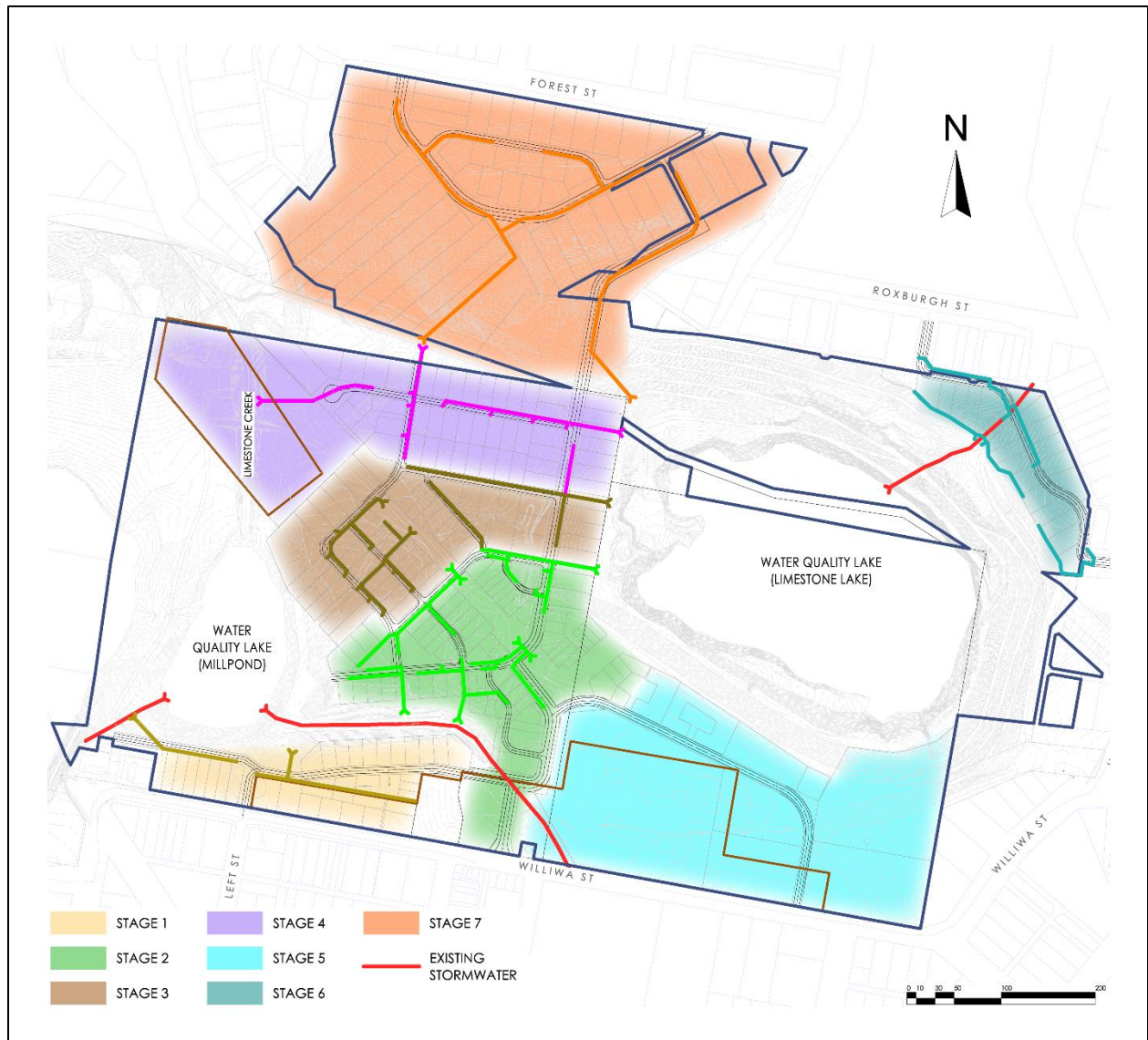


Figure 7. Concept Stormwater Staging Plan

2.6 BULK EARTHWORKS STAGE

Objective:

- (c) To ensure the bulk earthworks are undertaken prior to extensive development, to stabilise land especially around Pine Tree Ridge.
- (d) To ensure bulk earthworks and cut and fill allow for future development of the land.
- (e) To respond to site topography and ensure ongoing stability of the land.
- (f) To ensure any potential site contamination is removed or land remediated prior to further development.

Controls:

5. Bulk earthworks to be undertaken prior to the commencement of development of any precincts, in line with **Figure 8**.
6. All development that involves any significant earthworks addresses Clause 7.1 - Earthworks of LLEP 2014.
7. A Geotechnical Report should accompany any application for bulk earthworks at the first phase of development for the site.
8. A Preliminary Site Investigation and if relevant Remediation Action Plan is required to be submitted with any Bulk Earthworks Stage development application. Subsequent Validation reporting should be completed and signed off by a qualified consultant on completion of the bulk earthworks in line with the requirements of **Part 9.7** of this DCP.
9. Structural engineering plans are required to show any slope, batters or retaining walls to ensure they are structurally sound and can be appropriated drained.

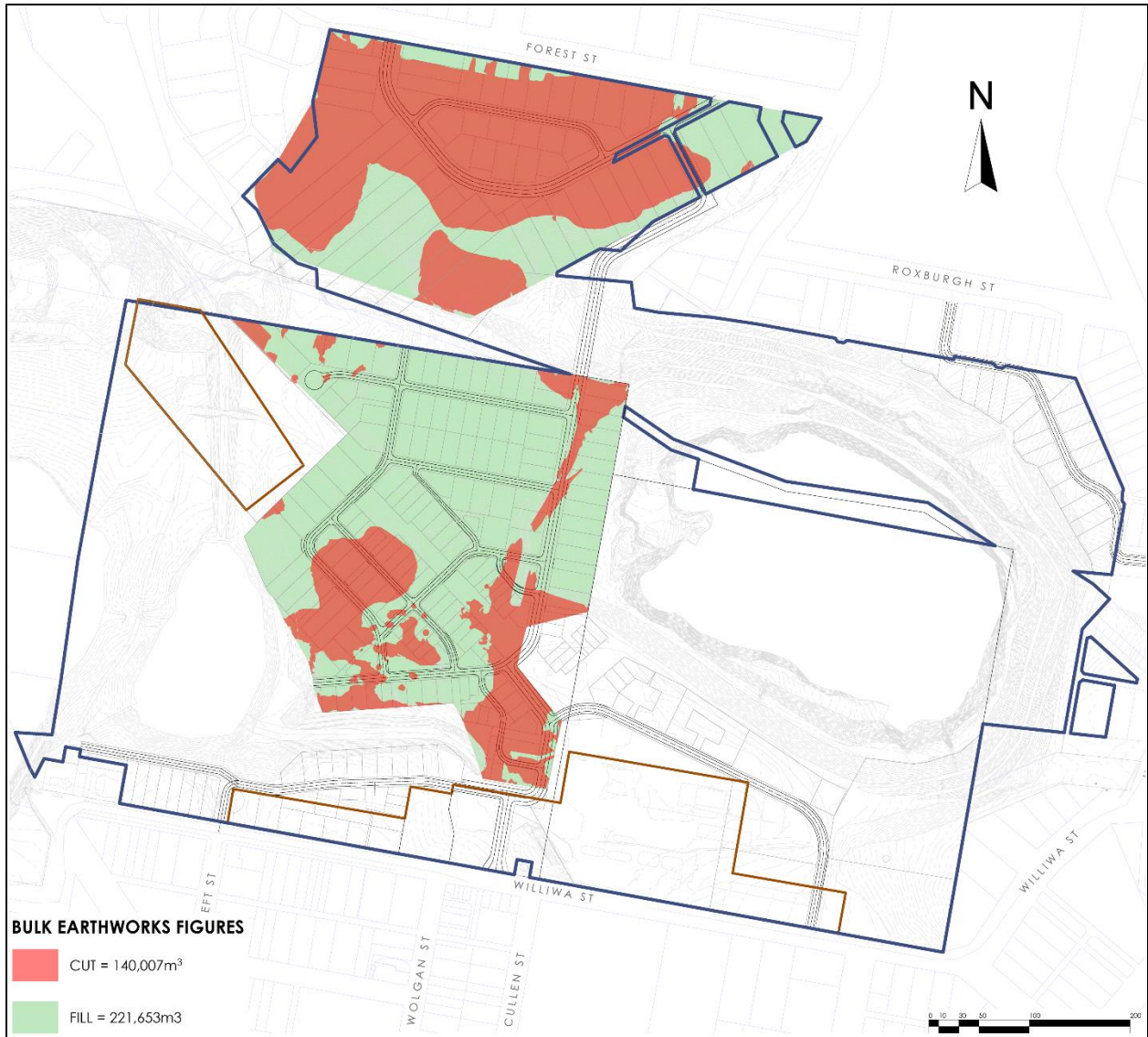


Figure 8. Bulk Earthworks Plan

PART 3 RECREATION AND OPEN SPACE AREAS

3.1 RECREATION AREAS

Objective:

- (a) Enhance the public domain through the creation of publicly accessible open spaces and through-site links.
- (b) Encourage the linkage of open space and recreation areas through streets as safe spaces.
- (c) Provide a variety of publicly accessible open spaces of different sizes and designs, to support a range of passive recreational, active and social functions.
- (d) Provide a range of recreational facilities to meet the needs to the community into the future.
- (e) Ensure active street frontages throughout the Foundations and ensure activation externally to adjacent streets.
- (f) Ensure a high level of pedestrian amenity, safety and security through the inclusion of weather protection and lighting.
- (g) Incorporate areas of soft and deep soil landscaping to enhance the green grid and add to the urban tree canopy.

Controls:

1. The public domain should be generally in accordance with the Landscape Design Guidelines (**Appendix 2**).
2. Primary paths should be 1.5m in width and brushed concrete.
3. Secondary paths to be 1.2m in width and compacted decomposed crushed granite (brown).
4. Suitable amenities, such as toilet blocks should be provided within public recreation areas.

3.2 PRIVATE RECREATION AREAS

Objective:

- (a) Ensure private recreation areas are of a high quality of design and landscaping.
- (b) Encourage the linkage of open space and recreation areas through walking and cycling pathways.
- (c) Provide a range of private recreational facilities to meet the needs to the community into the future.
- (d) Ensure active street frontages throughout the Foundations and ensure activation externally to adjacent streets.
- (e) Ensure a high level of amenity, safety and security throughout any open space and landscaped areas.
- (f) Incorporate areas of soft and deep soil landscaping to enhance the green grid and add to the urban tree canopy.

Controls:

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

1. A landscape masterplan and maintenance management plan should be provided for any development application (DA) proposed over RE2 zoned land, that is generally consistent with the Landscape Design Guidelines (**Appendix 2**).
2. Development on RE2 zoned land should provide for minimum deep soil planting of 15%.
3. Development on RE2 zoned land should have regard for the surrounding context and ensure design is of a high quality, using sustainable materials where practicable. A Design Statement should accompany any DA that involve built form.
4. Any DA should clearly identify areas of private or public access, and hours of operation as required.
5. Development should generally accord with the Portland Cement Weed Action Plan, in place across the precinct.

PART 4 LANDSCAPE DESIGN

4.1 LANDSCAPE STRATEGY

Objectives:

- (a) To ensure landscaping is compatible with the place precincts and heritage items.
- (b) To ensure appropriate scale, materials and colour are incorporated into landscaping.
- (c) To enhance the quality of the built environment by providing a high standard of landscaping.
- (d) To ensure that landscaping may be efficiently maintained.
- (e) To promote a pleasant and safe living environment.
- (f) To design a high-quality landscape setting for urban housing development.
- (g) To fully integrate the landscape design in communal, private and public areas
- (h) To provide adequate open space areas for the enjoyment and use by residents.
- (i) To enhance the quality of the built environment by providing opportunities for landscaping.
- (j) To provide an open space area within the development for the recreation of residents and children's play.

Controls:

- 1. Landscaping should look to mitigate the heat island effect, use endemic species that are compatible with the surrounds and support increased canopy cover through use of canopy trees.
- 2. Landscaping for residential development to be detailed in a Landscape Plan and in accordance with the requirements outlined in **Part 5**.
- 3. Landscaping for commercial and mixed use development should look to incorporate endemic species and should be detailed in a Landscape Plan.
- 4. Consideration should be given to Council's Safety by Design Guidelines, particularly in regards to natural surveillance, sightlines and lighting.
- 5. Landscaping should be generally in accordance with the Landscape Design Guideline and plant palette at **Appendix 2**.

4.2 TREES AND VEGETATION

Objectives:

- (a) To encourage retention of native and established trees or vegetation.
- (b) To improve and contribute to the green grid and tree canopy cover.

Controls:

- 1. Any DA involving tree removal should be accompanied by a survey plan that clearly shows the location of the vegetation to be cleared.

2. A description of the vegetation should be included in any DA proposing clearing, outlining the type and condition, with vegetation to be retained where it is of high ecological value or contributes directly or indirectly to a threatened species, population, ecological community or their habitats. Council may seek to request an Arboricultural report for high value vegetation.
3. Rehabilitation and replanting of high value ecological vegetation is encouraged should removal be unavoidable.
4. Vegetation, including native vegetation, can be removed where it is required for the purposes of an Asset Protection Zone (APZ) without an Arboricultural report, may cause unacceptable risk to life or infrastructure, is dead or dying or in a poor and deteriorating condition, or where lawful under other legislation.

4.3 SUSTAINABILITY, MICROCLIMATE & WATER

Objectives:

- (c) To encourage sustainability and reduction in water useage.
- (d) To reduce the impacts of climate change.

Controls:

5. Ensure development incorporates water saving devices and retains water for re-use.
6. Landscaping and plants to utilise native and resilient planting.
7. Minimise the impacts of the urban heat island effect through minimising hard landscaping or pavement areas.
8. Passive cooling methods are to be incorporated that rely on improved natural ventilation to supplement or preclude mechanical cooling.

4.4 LIGHTING

Objectives:

- (a) To provide lighting that improves the safety and amenity of the industrial uses and the public domain.
- (b) To locate and design lighting in such a way that it does not have significant detrimental off-site impacts, particularly for rural-residential dwellings.
- (c) To ensure lighting does not impact on the amenity of sensitive uses.

Controls:

1. External lighting within the industrial lots is to comply with the provisions of *Australian Standard AS4282-1997 Control of Obtrusive Effects of Outdoor Lighting*.
2. Street lighting along the internal roads is to be provided in accordance with the provisions of *Australian Standard AS1158 Lighting for Roads and Public Spaces*

3. Lighting design should address the principles of Crime Prevention Through Environmental Design having regard to the operating hours of individual tenants and any safety and security issues.
4. Lighting design should seek to avoid unnecessary energy consumption. Where feasible, lighting is to be powered by solar or other forms of renewable energy. Sensor lighting should be incorporated for both internal and external spaces, where appropriate.
5. Lighting within the SHR Heritage Curtilage, as shown in **Figure 2)** should have regard to the heritage nature of the surrounds, and be in keeping with this character. Lighting design should be consistent across the public realm.

4.5 FENCING

Objectives:

- (a) To ensure that fencing is of a high visual quality, compliments the character of the area and is compatible with the proposed development.

Controls:

1. Any boundary fencing shall be subject to the requirements of the Dividing Fences Act 1991.
2. Front fencing is to be consistent with the height, scale, and style of existing fencing in the street. Where there are no existing fences, these should be of a high quality and not detract from the built form and streetscape. Furthermore, fences should not impact on the ability of casual surveillance of result in reduced safety.
3. Consideration should be given to Council's Safety by Design Guidelines, particularly in regards to natural surveillance, sightlines and anti-graffiti surfaces.
4. Front fencing shall not exceed 1.2 metres in height and shall be of open style.
5. Consideration will be given to fencing on secondary road frontage setbacks, subject to there being no adverse affect on the immediate area and on traffic visibility and be of a design to incorporate features such as landscaping bays or a variation/combination of materials.
6. Side and rear boundary fencing should be a maximum of 1.8 metres in height.

PART 5 RESIDENTIAL DESIGN

5.1 BUILDING HEIGHT

Objectives

- (a) To provide for a scale of development that balances the village scale of town and grandiose scale of the site's heritage items.
- (b) To minimise the potential impact of development on views, particularly from residential development and to heritage items.
- (c) To achieve an appropriate relationship between the scales of village, heritage items and lakes.
- (d) To ensure adequate solar amenity to the public realm and neighbours.
- (e) To encourage generous floor to ceiling heights.

Controls

1. A Site analysis plan should be prepared to support the location of any residential dwelling on a site.
2. Dwellings are to be generally a maximum of 3 storeys high.
3. Where a 3rd storey is proposed, the design should satisfy that the dwelling is not likely to impact adversely on the existing or future amenity of any adjoining land on which residential development is permitted, having regard to overshadowing, visual impact and any impact on privacy. It includes demonstrating that at least 50% of any adjacent open space that already achieves 3hours of continuous solar access, will continue to achieve 3hours continuous solar access in mid-winter.

5.2 DWELLING TYPES AND CONTROLS

Objectives

- (a) To promote housing choice, variety and price points
- (b) To provide flexibility in location and housing typology to meet the market appetite for compact housing
- (c) To strategically locate the smaller lot typologies to protect the character of existing areas and maximise the amenity
- (d) To ensure that appropriate levels of service and amenity are provided correlating to the delivery of density
- (e) Deliver housing which is site responsive and sensitive to natural and physical environments;
- (f) To encourage a high standard of design to make a positive contribution to the aesthetic quality, functionality, enriched amenity and experience of the urban environment
- (g) To provide casual surveillance to rear lanes

Controls

1. Dwellings shall comply with the requirements set out in **TABLE 3, TABLE 4, TABLE 5** and **TABLE 6** below.
 2. Where alternative dwellings types are proposed not covered within this DCP, assessment against the provisions of the NSW Low Rise Housing Diversity Guidelines is required.
 3. An assessment against the relevant provisions of the *State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development* and the Apartment Design Guide should be included where development triggers these policies.
 4. The primary street facade of a dwelling should address the street and must incorporate at least two of the following design features:
 - a. entry feature or verandah;
 - b. window hoods or similar features;
 - c. balcony treatment to any first-floor element;
 - d. recessing or projecting architectural elements;
 - e. bay windows or similar features; or
 - f. verandahs (including Juliet balconies), pergolas or similar features above garage doors.
 5. 1 x habitable window with a frontage of less than 12 meters.
 6. 2 x habitable windows with a frontage greater than 12 meters.
 7. Corner lot development should emphasise the corner by incorporating at least two of the above design features along the secondary street. Landscaping in the front setback on the main street frontage should also continue around into the secondary setback.
 8. Front fencing not to exceed 1.2 metres in height.
 9. Front fencing shall
 - a. not appear solid, bulky or obtrusive
 - b. be highly integrated with landscape design and allow filtered views into the site
 - c. not be constructed of pre-coloured metal or solid materials
 - d. to be consistent with the main façade design in terms of colour and material
 10. Front fence controls must extend/ return a minimum of 1/3 of the corner lot secondary frontage.
 11. Eaves are to provide sun shading and protect windows and doors and provide aesthetic interest. Except for walls built to the boundary, eaves should have a minimum of 450mm overhang (measured to the fascia board).
 12. Attached or abutting dwellings should have a pleasing rhythm and order when seen together as a group, rather than appear as a random arrangement of competing dwellings
 13. Garages are to be constructed of materials that complement the colour and finishes of the main dwelling.
 14. The finishes, materials and colours of the secondary dwelling or studio dwelling are to complement the principal dwelling in its construction features.
-

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

15. Windows and private open spaces of secondary dwellings must not overlook the private open space of any adjacent dwellings including the principal dwelling.
16. Private open space should be continuous, accessible from primary living spaces, on useable land, and not oriented to be directly overlooked from adjoining lots or buildings.
17. Where the lot orientation permits, dwellings are to be sited and designed to maximise solar access to living areas and private open space of the development. Two story density development may require shadow diagrams to show the impact of shadows resulting from existing and proposed building works.
18. Landscaping is to be generally in accordance with the Landscape Guideline at **Appendix 2**.

TABLE 3. KEY CONTROLS FOR LARGE LOTS

Standard	Large Lot	Lifestyle Lot
Lot size	> 1000m ²	800-1000m ²
Lot Frontage (min)	18m	18m
Building Height (max)	12m	12m
Number of Storeys (max)	3	3
Primary Street Setback (min-max)	0m (min) - 3m (max) (building façade) 1m (garage setback behind building façade)	0m (min) - 3m (max) (building façade) 1m (garage setback behind building façade)
Secondary Street Setback (min-max)	0m (min) - 3m (max) (building façade)	0m (min) - 3m (max) (building façade)
Side Setback (min)	0.9m	0.9m
Rear Setback (min) (Where regular shaped lots)	Ground Floor: 8m Upper Storey: 8m	Ground Floor: 6m Upper Storey: 6m
Building Footprint (max)	45% of lot area	60% of lot area
Landscaped Area* (min)	30% of lot area (1.5m min dimension)	30% of lot area (1.5m min dimension)
Landscaped Area* Forward of Building Line if applicable (min)	70%	65%

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

Principal Private Open Space (min)	50m ² (uncovered and 4m min dimension)	24m ² (uncovered and 4m min dimension)
Tree Planting within front setback (min)	1 medium and 2 small trees for above 2m front setback	1 medium and 2 small trees for above 2m front setback
Resident Parking (min)	2 space	2 space
Garage access	Primary Street or secondary street	Primary street or secondary street

* Landscaped Area excludes paved outdoor areas and pools

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

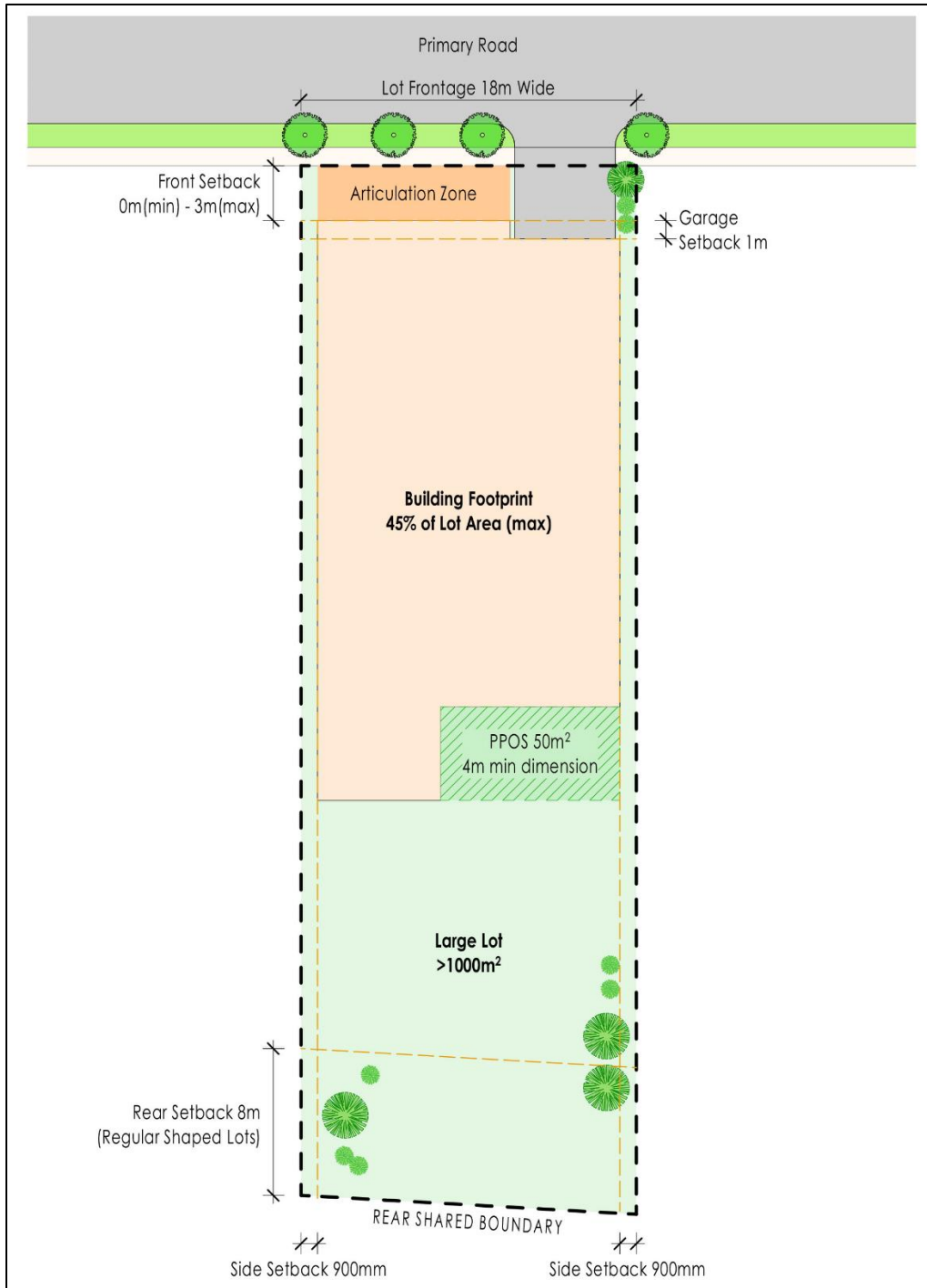


Figure 9. Large Lot

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

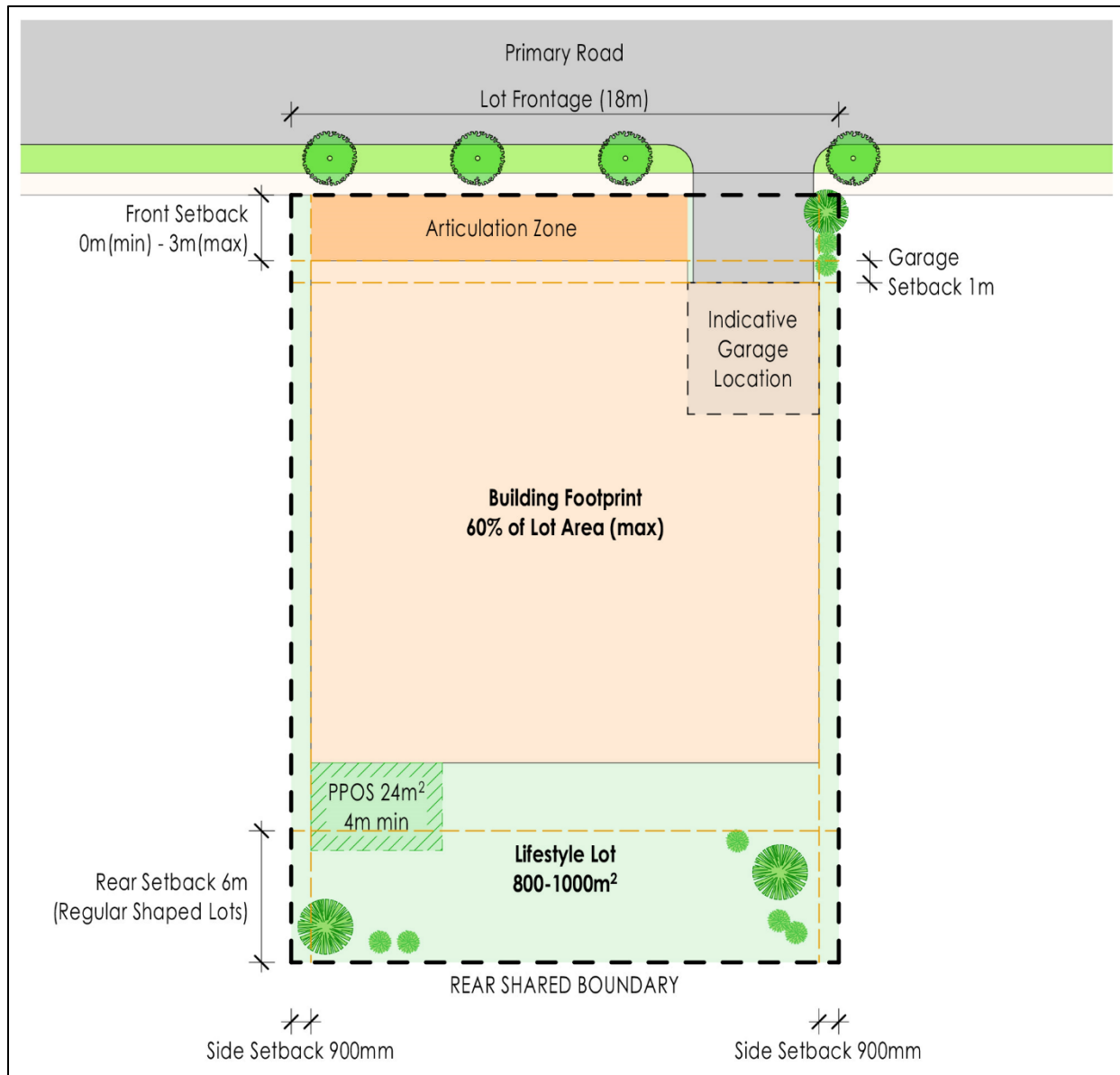


Figure 10. Lifestyle Lot

TABLE 4. KEY CONTROLS FOR TRADITIONAL LOTS			
Standard	Family Traditional	Traditional	Traditional (rear garage)
Lot size	600-800m ²	450- 600m ²	450- 600m ²
Lot Frontage (min)	15m	15m	15m

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

Building Height (max)	12m	12m	12m
Number of Storeys (max)	3	3	3
Primary Street Setback (min-max)	2.5m (min) – 4.5m (max) (building façade) 1m (garage setback behind building façade)	2.5m (min) – 4.5m (max) (building façade) 1m (garage setback behind building façade)	2.5m (min) – 4.5m (max) (building façade)
Secondary Street Setback (min)	2m	2m	2m
Side Setback (min)	Ground Floor: 0.9m and 3.5m or 1.5m both sides Upper Storey: 1.5m	Ground Floor: 0.9m Upper Storey: 1.5m Where two or more attached dwellings – Nil	Ground Floor: 0.9m Upper Storey: 1.5m Where two or more attached dwellings – Nil
Rear Setback (min)	Ground Floor: 4m Upper Storey: 6m	Ground Floor: 4m Upper Storey: 6m	0.5m
Building Footprint (max)	60% of lot area	60% of lot area	60% of lot area
Landscaped Area* (min)	30% of lot area (1.5m min dimension)	30% of lot area (1.5m min dimension)	30% of lot area (1.5m min dimension)
Landscaped Area* Forward of Building Line (min)	60%	60%	90%

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

Principal Private Open Space (min)	24m ² (uncovered and 4m min dimension)	24m ² (uncovered and 4m min dimension)	24m ² (uncovered and 4m min dimension)
Tree Planting within front setback (min)	1 medium tree and 2 small trees for > 3.5m front setback 2 small trees for <3.5m front setback	1 medium tree and 1 small tree for > 3.5m front setback 2 small trees for <3.5m front setback	1 medium tree and 1 small tree for > 3.5m front setback 2 small trees for <3.5m front setback
Resident Parking (min)	1 space	1 space	1 space
Garage access	Primary street Corner lots – secondary street	Primary street Corner lots- secondary street	Rear laneway

* Landscaped Area excludes paved outdoor areas and pools

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

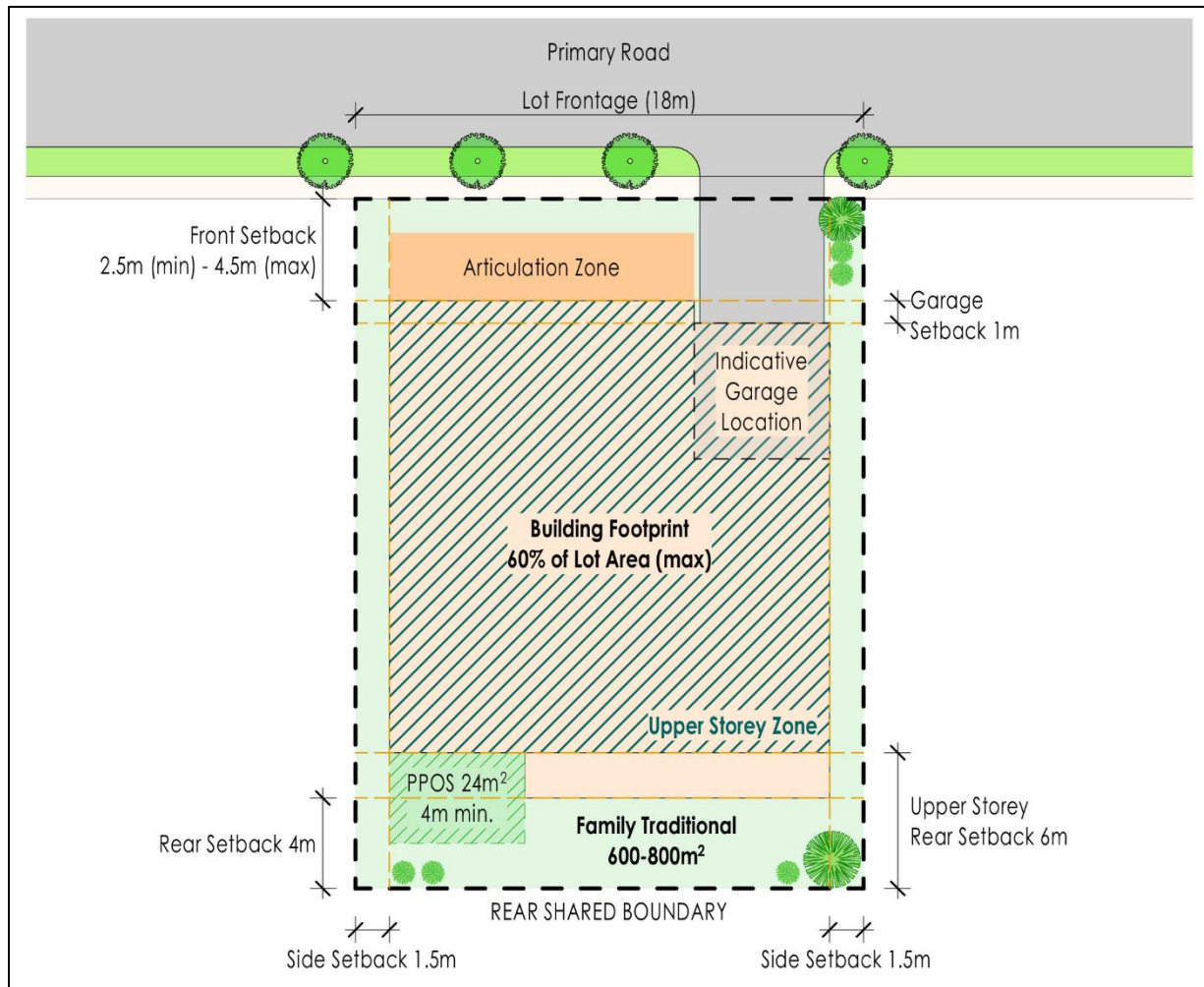


Figure 11. Family

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

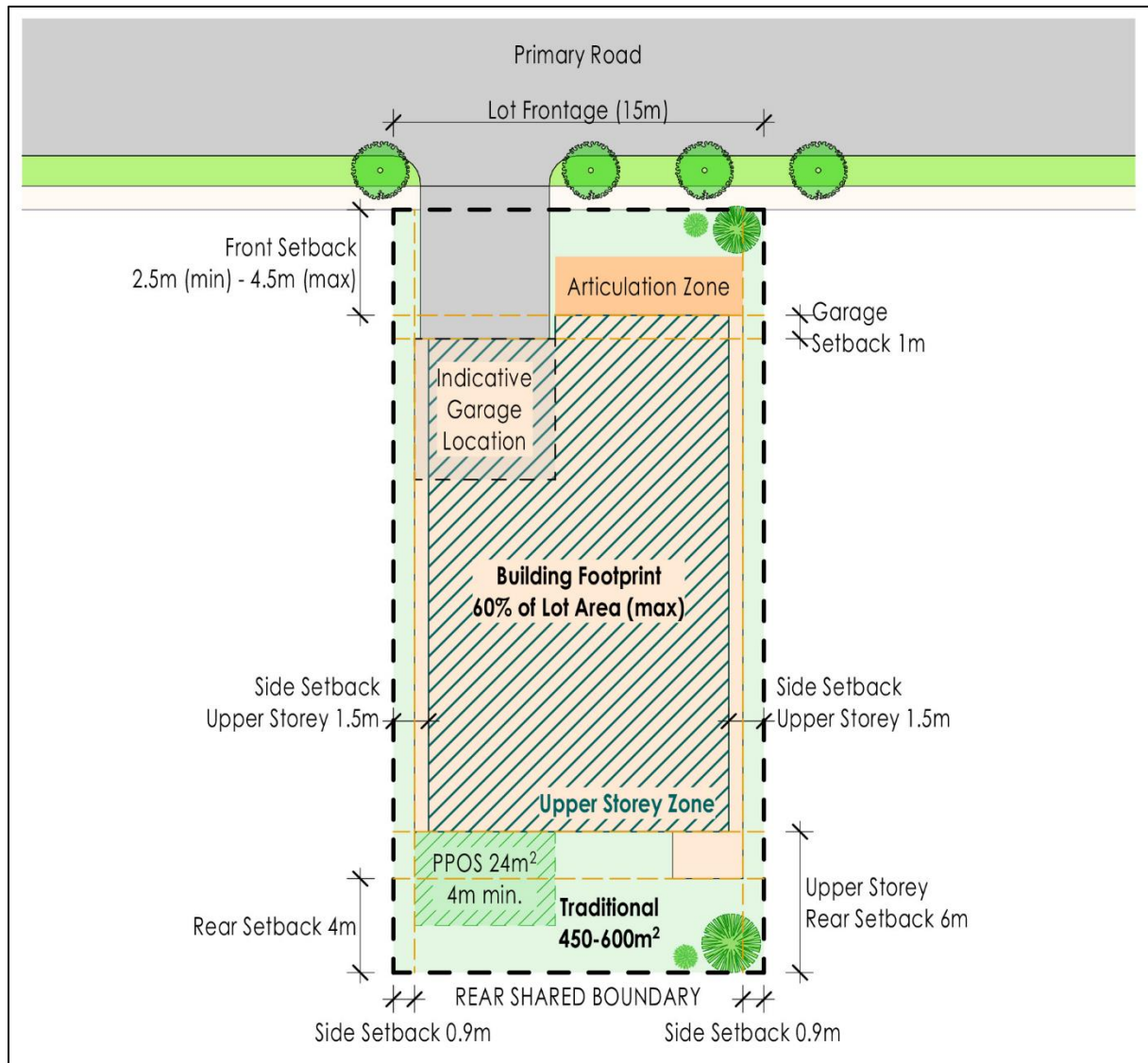


Figure 12. Traditional

TABLE 5. KEY CONTROLS FOR SMALL LOTS			
Standard	Cottage	Cottage (rear garage)	Townhouse Cottage / Superlots (rear loaded)
Lot size	300 - 450m ²	300 - 450m ²	125m ² - 300m ²
Lot Frontage (min)	10m	10m	5m
Building Height (max)	12m	12m	12m

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

Number of Storeys (max)	3	3	3
Primary Street Setback (min-max)	0m (min) – 3m (max) (building façade) 1m (garage setback behind building façade)	0m (min) – 3m (max) (building façade)	0m (min) – 3m (max) (building façade)
Secondary Street Setback (min-max)	0m (min) – 1.5m (max) (building façade)	0m (min) – 1.5m (max) (building façade)	0m (min) – 1.5m (max) (building façade)
Side Setback (min)	Nil	Nil	Nil
Rear Setback (min)	Ground Floor: 4m Upper Storey: 6m	0.5m	0.5m
Building Footprint (max)	60% of lot area	60% of lot area	80% of lot area
Landscaped Area* (min)	30% of lot area (1.5m min dimension)	30% of lot area (1.5m min dimension)	20% of lot area (1.5m min dimension)
Landscaped Area* Forward of Building Line if applicable (min)	60%	60%	80%
Principal Private Open Space (min)	16m ² (uncovered and 3m min dimension)	16m ² (uncovered and 3m min dimension)	16m ² (uncovered and 3m min dimension)

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

Tree Planting within front setback (min)	2 small trees for above 2m front setback	2 small trees for above 2m front setback	1 small tree for above 2m front setback
Resident Parking (min)	1 space	1 space	1 space
Garage access	Primary street Corner lots - secondary street	Rear laneway	Rear laneway

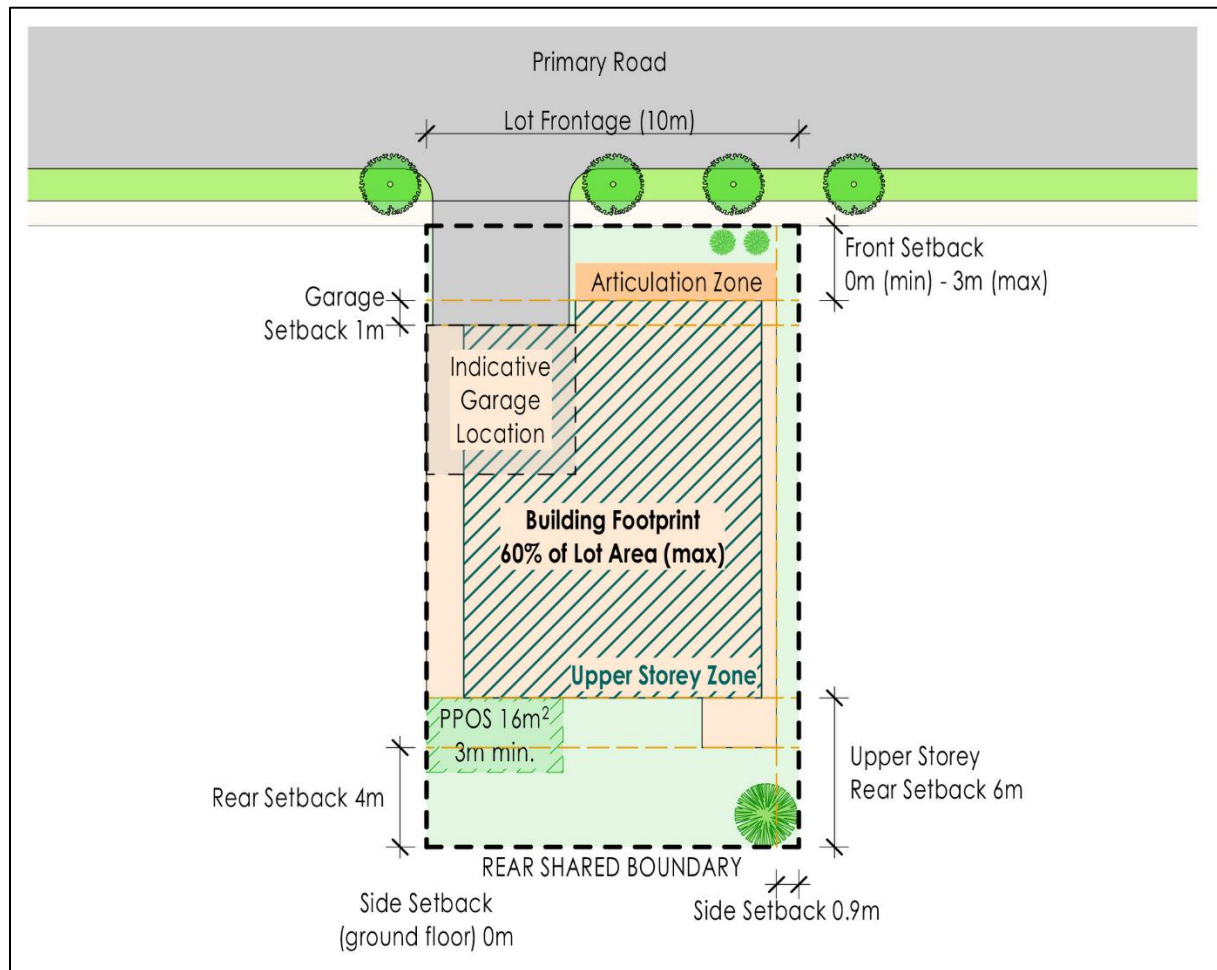


Figure 13. Cottage (front garage)

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

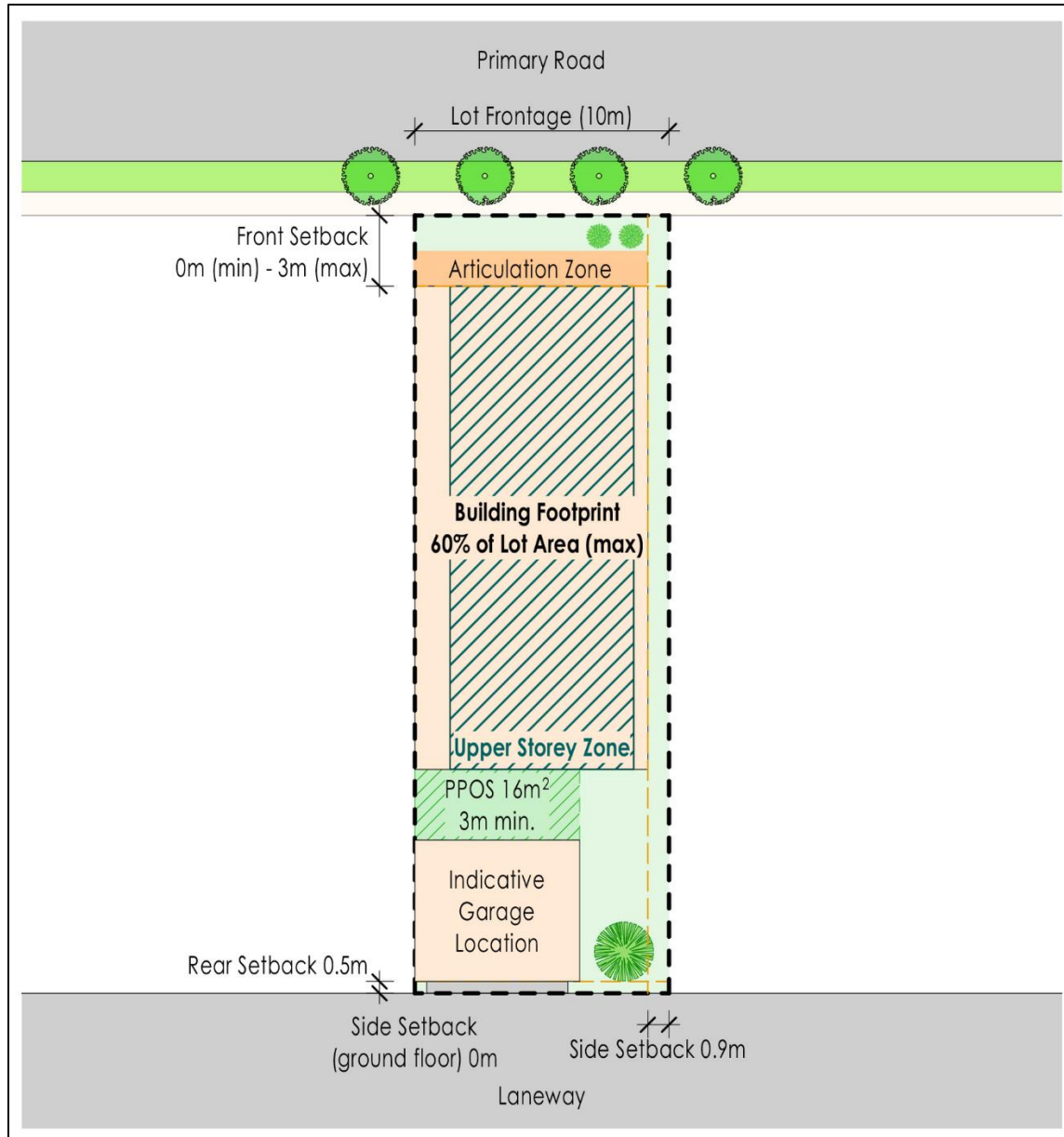


Figure 14. Cottage (rear garage)



Figure 15. Super Lot Example

TABLE 6. KEY CONTROLS FOR SMALL LOTS	
Standard	Studio Above Garage
Dwelling size	min 35m ²
Building Height (max)	8.5m (including garage)
Number of Storeys (max)	2 (including garage)
Lane Setback (min)	Ground Floor: 0.5m

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

	Upper Storey: Nil
Side Setback (min)	Nil
Principal Private Open Space (min)	4m ² minimum area and 1.5m minimum dimension in the form of a balcony overlooking laneway
Internal Separation	4m minimum between studios and attached dwellings
Resident Parking (max)	1 space

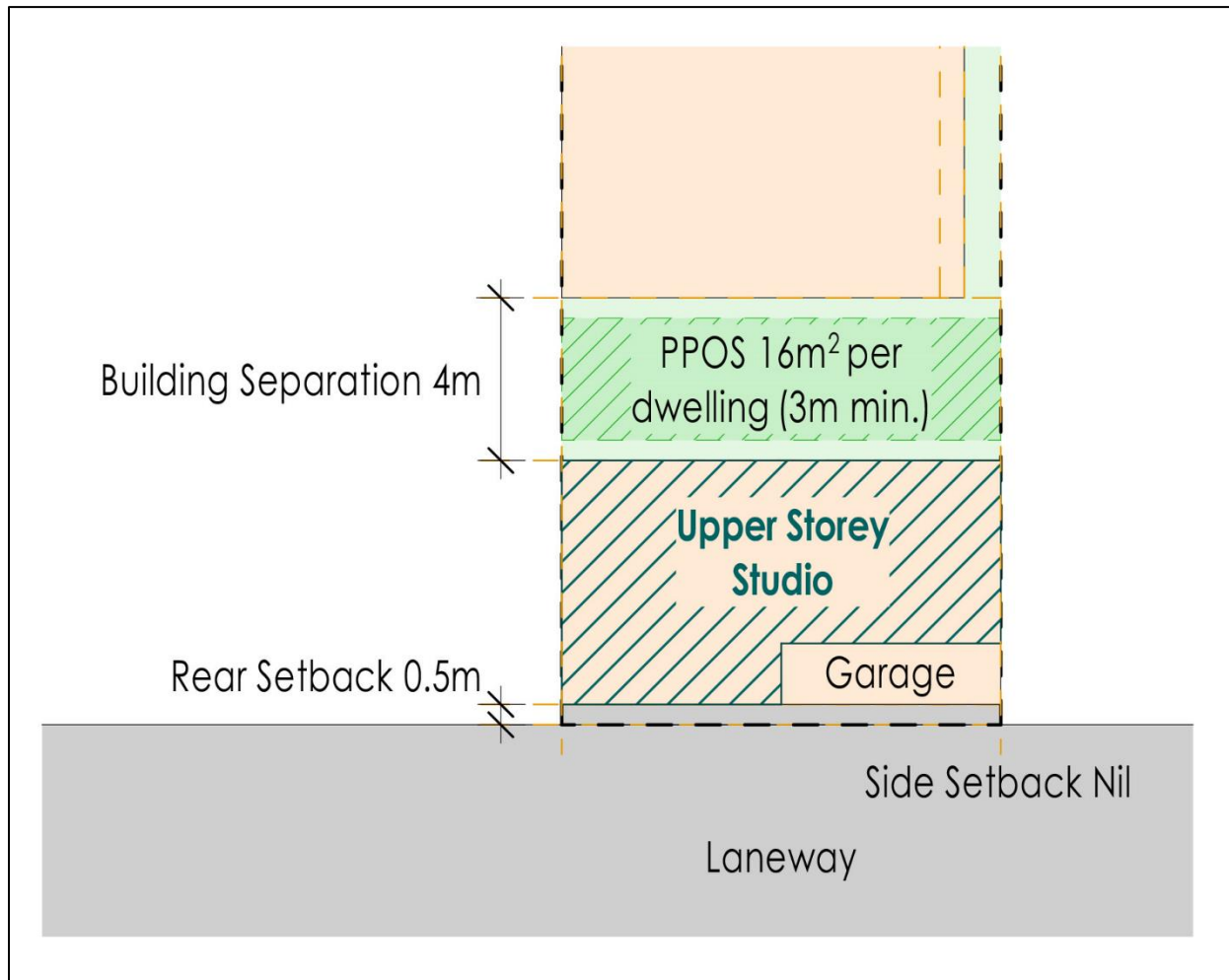


Figure 16. Studio Above Garage

TABLE 7. KEY CONTROLS FOR ATTACHED OR SEMI ATTACHED DWELLINGS

Standard	Attached and Semi-attached Dwellings
Dwelling size	min 35m ²
Building Height (max)	8.5m (including garage)
Number of Storeys (max)	2 (including garage)
Principal Private Open Space (min)	4m ² minimum area and 1.5m minimum dimension
Resident Parking (max)	1 space

5.3 MATERIAL AND FINISHES

Objectives

- (a) To encourage a high standard of architectural design through the selection of appropriate building materials and finishes
- (b) To provide an attractive and interesting streetscape that integrates the architectural design of the building with the landscape design of the setbacks and surrounding areas
- (c) To encourage the use of sustainable building materials and fixtures to minimise the potential environmental impacts

Controls

1. Building facades are to incorporate finishes and materials which provide visual relief to the built form.
2. A maximum of 1 dominant and 2 complimentary materials are permitted to the external facade of the dwellings plus glass.
3. The same material and colour should not be used at both the ground and first level unless there is a full width balcony to break up the façade treatment.
4. The same material/ colour should be consistently used for one individual level, at the front, side and rear walls.
5. Colours of external finishes of buildings should be sympathetic to the rural landscape and the overall Foundations character. High contrasts in colours will not be permitted.

5.4 RESIDENTIAL AMENITY

Objectives

- (a) To provide a high level of residential amenity with opportunities for outdoor recreation and relaxation
- (b) To enhance the spatial quality, outlook, and usability of private open space
- (c) To facilitate solar access to the living areas and private open spaces of the dwelling
- (d) To site and design dwellings to meet user requirements for visual and acoustic privacy, while minimising the visual and acoustic impacts of development on adjoining properties, and
- (e) To minimise the impact of noise of other non-residential uses such as parking, restaurants and cafes and waste collection and goods deliveries

Controls

1. Each dwelling is to be provided with an area of Principal Private Open Space (PPOS) consistent with the requirements of the Tables 1,2, 3 and 4.

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

2. The location of PPOS is to be determined having regard to dwelling design, allotment orientation, adjoining dwellings, landscape features and topography. The PPOS must be designed to offer a reasonable level of privacy for their users.
3. The PPOS is required to be conveniently accessible from the main living area of a dwelling or alfresco and have a maximum gradient of 1:10.
4. Open space at the front of the dwelling can only be defined as PPOS where this is the only means of achieving the solar access requirements. PPOS at the front of a dwelling must be designed to maintain appropriate privacy (for example raised level above footpath or fencing or hedging). To balance privacy and streetscape activation/ surveillance; fencing, hedging and/ or courtyard walls shall not exceed 1.5m where adjoining private open space.
5. First floor windows and balconies of a building that adjoins a residential property must be located so as to face the front or rear of the building. Where it is impractical to locate windows other than facing an adjoining residential building, the windows must be offset to avoid a direct view of windows in adjacent buildings.
6. Waste storage areas should be provided so as not to cause visual impacts to the streetscape, and generally be screened from view.
7. Residential dwellings within the B4 Mixed Use zone should consider appropriate sound proofing requirements, so that there are no undue acoustic impacts from commercial uses.

5.5 DESIGNING ON SLOPING SITES

Objectives

- (a) To promote development that respect the natural surroundings of the site for lots identified in **Figure 17**.
- (b) To minimise cut and fill (notwithstanding earthworks proposed under **Section 2.6**).
- (c) To ensure the amenity of adjoining residents is not unduly affected by built form responses to slope.

Controls

1. Maximum cut and fill of 1.5m (following completion of bulk earthworks stage).
2. All fill required should be Virgin Excavated Natural Material (VENM) ENM or exempt material approved by the Environmental Protection Authority.
3. Built form responses including split-level homes and pole homes shall be provided to minimise earthwork on site.
4. Retaining walls are not permitted when visible from the primary and secondary street frontages, unless of a high quality design using local stone or face brick (or similar) with appropriate landscaping elements.
5. Retaining walls that are greater than 1.5m, should be incorporated as part of a foundation for public realm or building form, to minimise the visual impact.

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

6. A reduction in private open space should be considered on extreme sloping sites where large balconies or decks are the only useable space available.
7. Development should generally be in accordance the diagrams provided at **Figure 18 - Figure 21**.

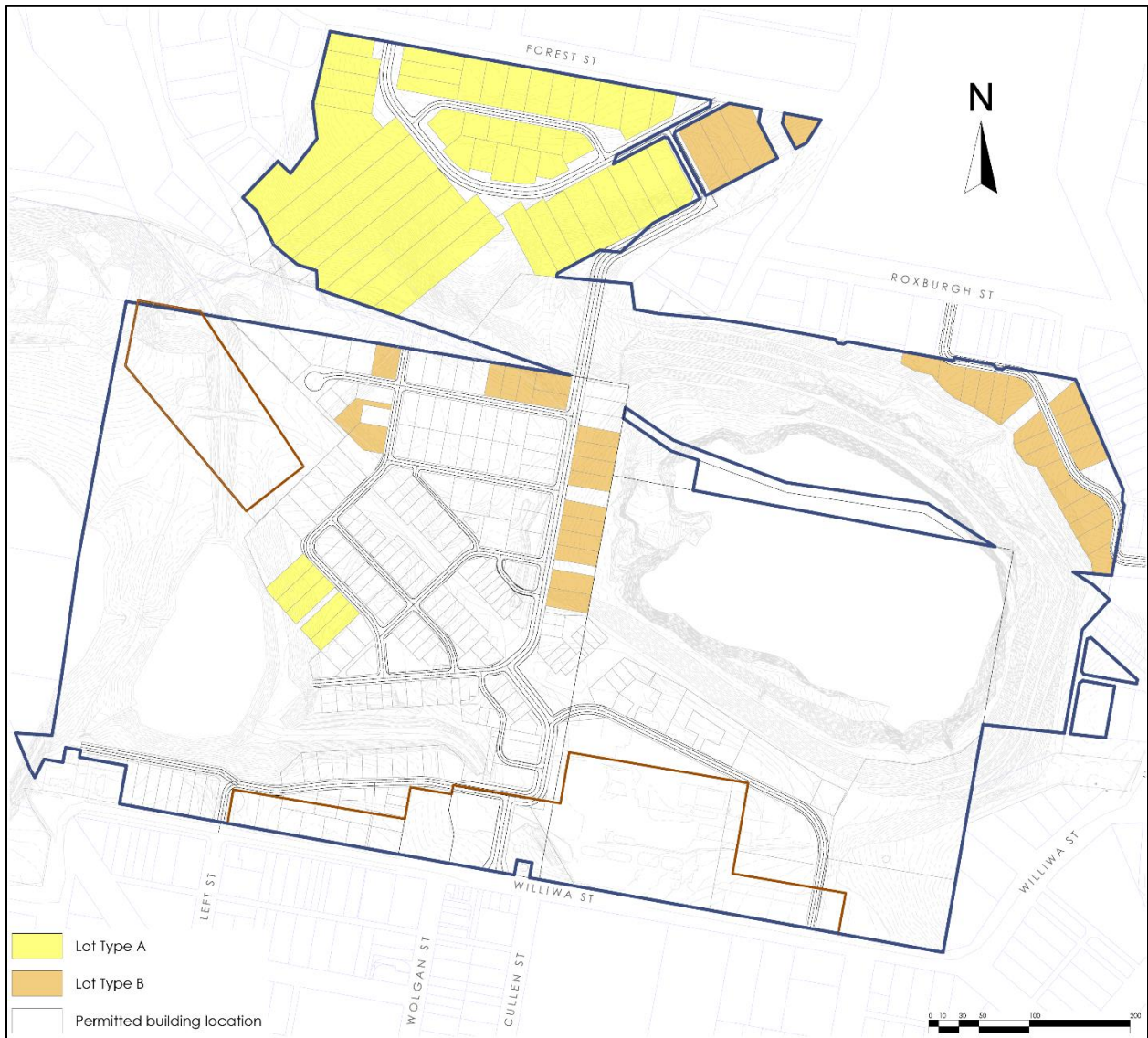


Figure 17. Sloping Sites

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

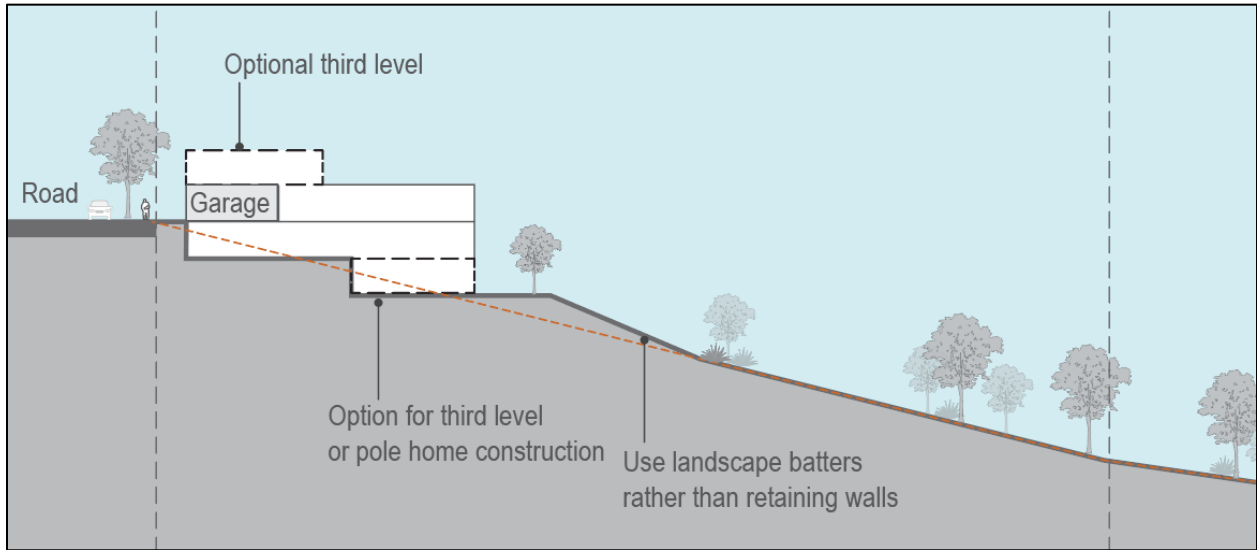


Figure 18. Type A downward sloping lot

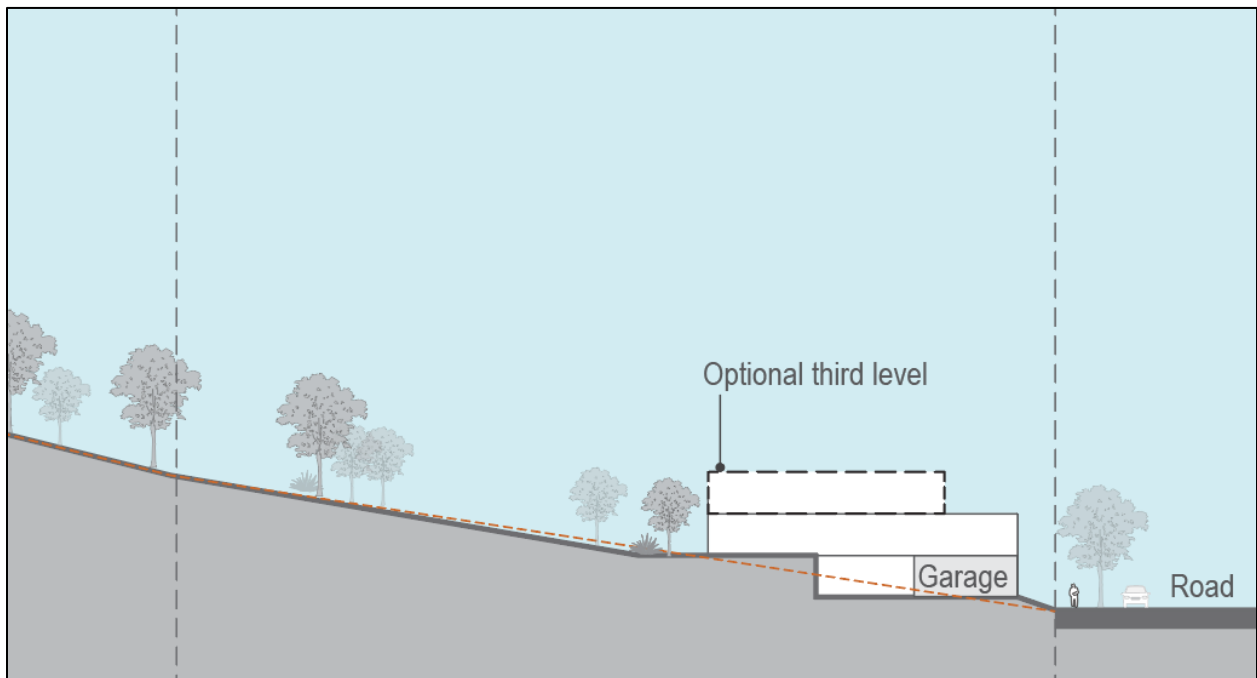


Figure 19. Type A upward sloping lot

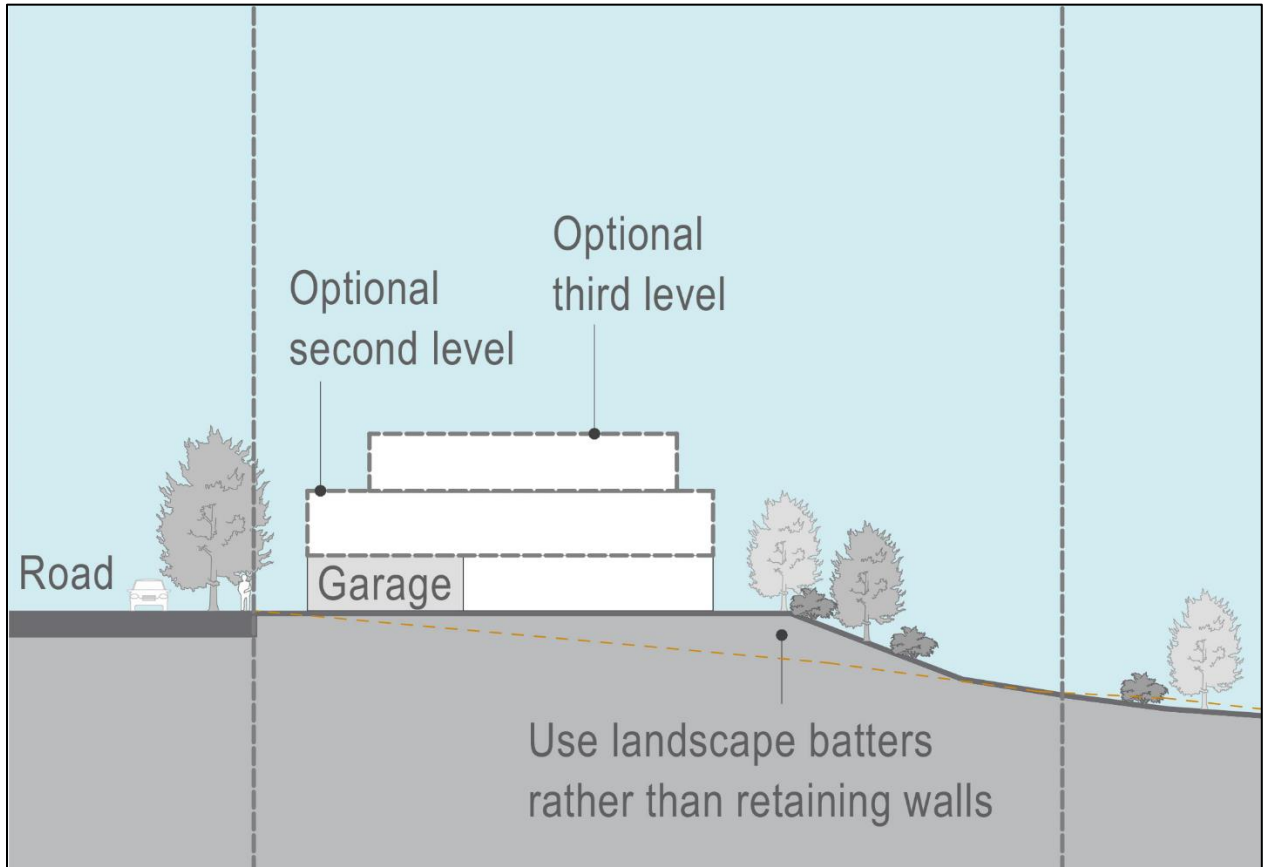


Figure 20. Type B downward sloping lot

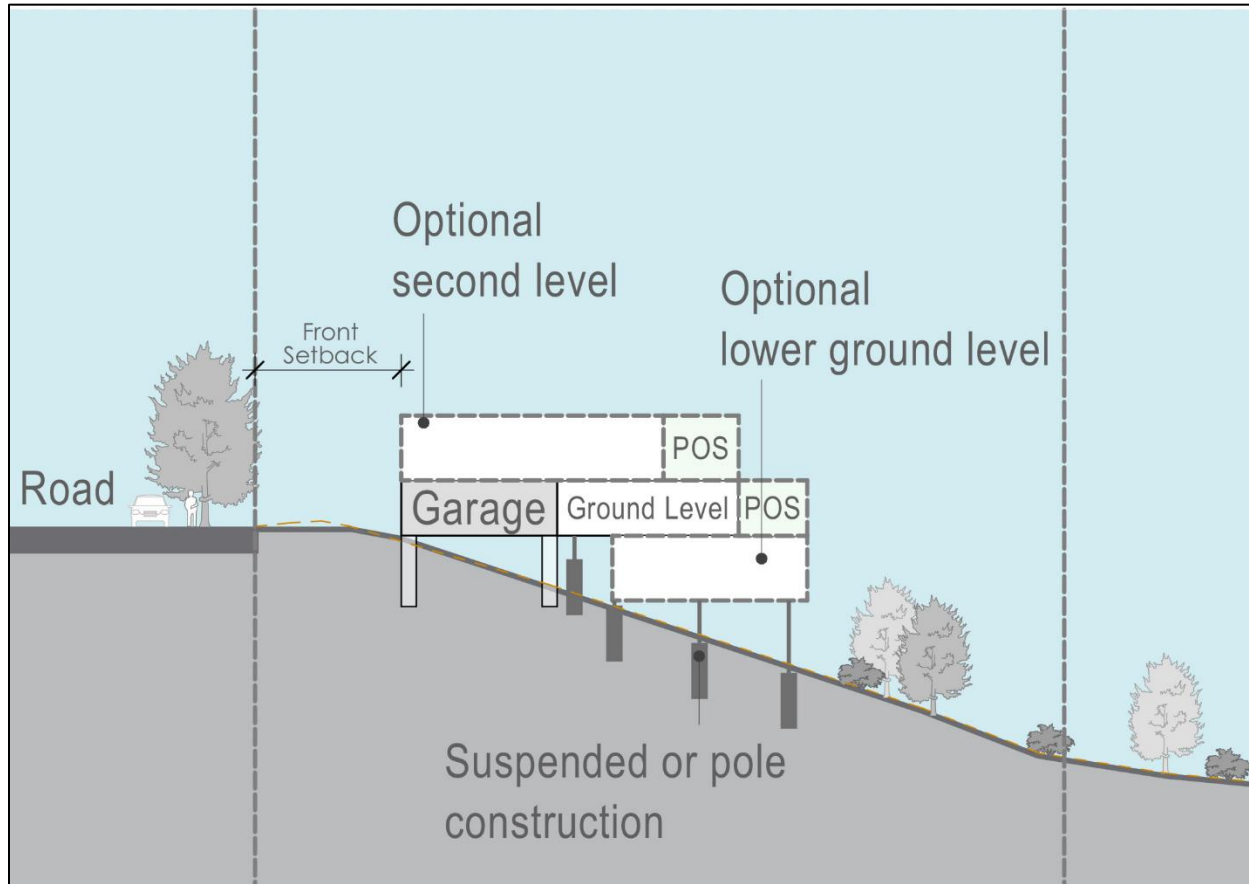


Figure 21. Type B extreme sloping lot

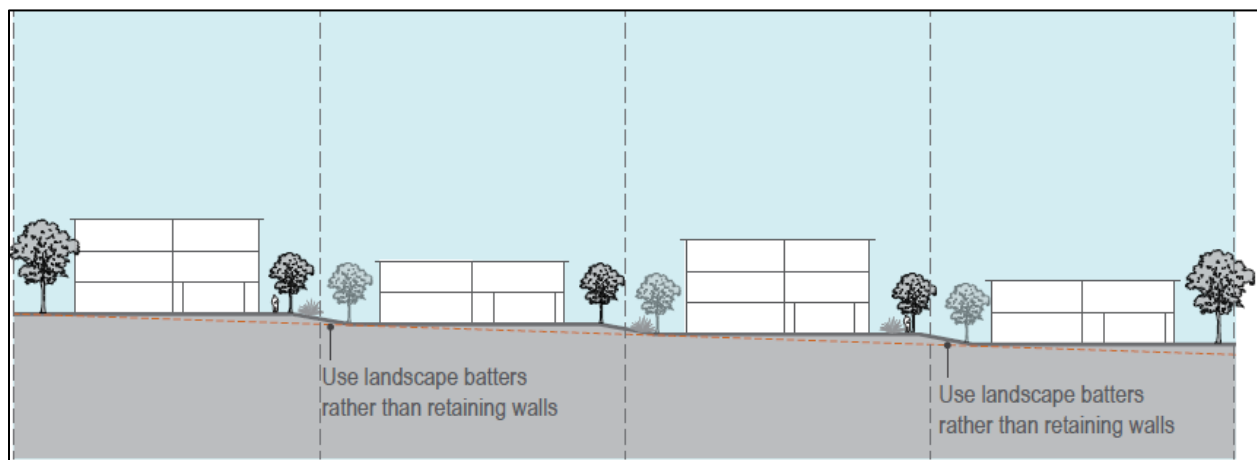


Figure 22. Side boundary slope treatment

5.6 ANCILLARY DEVELOPMENT

Objectives

- (a) To ensure the location of swimming pools or spas do not have adverse impacts on adjoining land uses.

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

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- (b) To ensure that water tanks and sheds are appropriately designed and located.
- (c) To minimise the visual impacts of ancillary development from the street and from nearby heritage items or conservation areas.
- (d) To ensure materials and colours are compatible with the surrounding character.

Controls

1. Swimming pools or spas should be no higher than 1.4m above ground level and should be located in the rear yard with a minimum setback of 1m from any boundary. A setback from a secondary road should be largely consistent with the setback of the dwelling house from the secondary road.
2. Water tanks and located behind the front building line.
3. Only one (1) shed per residential dwelling should be considered and only where there is an existing dwelling or concurrent with approval for a dwelling.
4. Sheds are located within the rear yard area and of a significantly smaller scale than the residential dwelling.
5. Detached sheds or outbuildings should have a maximum wall height of 4.2m and maximum ridge height of 6m, and do not exceed 150m² in floor area.
6. Detached sheds or outbuildings are to be setback a minimum of 3m from side and rear boundaries.
7. Sheds or outbuildings should not compromise or encroach on the PPOS requirements of a dwelling.
8. Pumps, filtration equipment, generators, heat pumps or air-conditioning units are located away from sensitive areas such as adjoining dwellings and are screened from view where possible.
9. Where development consent is required, a material and colour palette should be provided from a shed or outbuilding.

PART 6 COMMERCIAL AND NON-RESIDENTIAL DEVELOPMENT

6.1 USES

Objective:

- (a) To ensure development is in keeping with the overall masterplan intention.
- (b) To promote a mixture of uses that diversify the local economy.
- (c) To encourage temporary interim uses, while the Foundations is being developed.
- (d) To ensure temporary uses do not adversely impact on environmental attributes or features of the land.
- (e) To ensure there is a viable night-time economy.

Controls:

- 1. Any proposed non-residential or commercial use should be generally located within Union Square, Powerhouse Exchange, Limestone Lake and Central Mill.
- 2. Shop top housing should be located above an active commercial, retail or other uses, where appropriate acoustic attenuation can be achieved between uses.
- 3. Commercial uses and temporary events should be promoted, and an Operational Management Plan submitted with any DA, this should include but is not limited to;
 - a. Site plan and description of event or use;
 - b. Date, times and hours
 - c. Lighting and signage
 - d. Traffic management measures and parking
 - e. Risk assessments (such as emergency procedures), and
 - f. Noise mitigation measures
- 4. Residential uses should not restrict the use of the Union Square and Powerhouse Exchange precincts for late night activities and temporary uses.
- 5. At the end of the temporary use period the land, as far as practicable, will be restored to the condition it was in before the commencement of the use.

6.2 BUILDING DENSITY

Objective:

- (a) To ensure development is in keeping with the overall masterplan intention.
- (b) To ensure buildings are appropriately sited and designed to respect the heritage, cultural and scenic value of the Foundations.
- (c) To minimise the potential visual impact of development on the heritage and scenic values of the area.
- (d) To ensure density is in accordance with the local character.

Controls:

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

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1. Buildings to ensure they are oriented and designed to allow activation to the street and to any communal spaces.
2. Provision of at minimum of 10% landscaped area should be made for all commercial, mixed-use or any other non-residential development, where practicable.

6.3 BUILDING HEIGHT

Objectives

- (a) To provide for a scale of building form harmonious with the grandiose scale of the heritage items.
- (b) To provide adequate solar amenity to the public realm and adjoining buildings.

Controls

1. All non-residential uses shall be generally a maximum of 3 storeys high.
2. Generous floor-to-ceiling heights are encouraged.

6.4 BUILT FORM

Objectives

- (a) To ensure that building layout, form, design and detailing:
 - creates a fine-grain and / or human scale experience for pedestrians
 - creates active frontage with continuous pedestrian protection from the elements
 - encourage social connectedness by providing break out spaces
 - incorporates a diversity of building design to provide visual interest, break up the apparent scale of built form and improve the pedestrian experience
 - positively defines the public realm
 - maximises engagement with the adjoining public realm, in particular at the ground level
 - provides highly permeable ground floors blending indoor and outdoor spaces into a continuous pedestrian experience
 - provides for adaptable ground floor uses
 - integrates greenery into the built form where possible
 - investigates the integration of public art into new building form where blank walls are visible from the public realm
 - creates soft edges to the public realm interface providing people with the opportunity to personalise the experience of the place and endanger attachment and meaning
 - retains and integrates contributory and heritage elements with new built form
 - is sympathetic to the heritage values of items and contributory buildings
 - designed to a high standard that contributes to the desired future character of the precinct.

Controls

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

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1. Buildings at mixed use areas are to generally align with street edges, be articulated in their façade treatments and express corners in design.
2. Corners are to be visually prominent and may be reinforced by one and two story verandas / balconies which turn the corner in a traditional manner.
3. The interface between the building and the public domain is to be designed to create active safer streets, to encourage flexibility in design for changing uses at ground level and provide weather protection for pedestrian amenity.
4. Building facades are to be designed to accentuate key architectural features and clearly delineate points of interest such as building entries, vertical and horizontal elements.
5. Active street fronts, built to the street alignment, are required on the ground level of all retail and commercial development.
6. Large format retail such as supermarkets and parking areas are to be sleeved or hidden by retail and commercial uses.
7. Restaurants, cafes and the like are to consider providing openable shop fronts.
8. Building facades are to incorporate a variety of finishes and materials which provide visual relief to the built form.
9. A diverse palette of durable and cost efficient external materials exploring a contemporary urban character whilst representing themes of Australian local character should be used. A range of materials is to introduce a fine grain façade treatment along street edges.

6.5 ACOUSTIC AMENITY

Objectives

- (a) Encourage the activation of commercial and mixed use development at all times.
- (b) Ensure the ability for community events, live music or other entertainment to be held at venues or within outdoor spaces within Precincts 1, 2 and 3.

Controls:

1. Commercial or mixed use development within Precincts 1, 2 or 3 shall ensure there is allowance for night activities including live music or community events.
2. An Acoustic Report should be submitted to demonstrate that any use of buildings or outdoor spaces within Precincts 1, 2 or 3 will not have a detrimental impact on the amenity of surrounding residential dwellings.

6.6 ADVERTISING AND SIGNAGE

Objectives

- (a) To provide a consistent approach to provision of adequate and effective signage for the identification and promotion of events, buildings, and businesses that enhance the economy and employment in the Foundations.

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

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- (b) To ensure that signage is appropriately sized and positioned and minimises the visual impact and/or visual clutter caused by a proliferation of excessive signage (number, size or visibility) that is inconsistent with the street character, amenity, heritage character, and scale and proportion of the building.
- (c) To ensure that signage does not compromise pedestrian, cyclist or vehicle safety.
- (d) To encourage signage that promotes ease-of-navigation.
- (e) To ensure that signs are structurally safe and well maintained.
- (f) To encourage signage of a high-quality design and finish with robust materials.

Controls:

1. Signage applications should ensure compliance with the provisions of the *State Environmental Planning Policy (Industry and Employment) 2021*.
 2. The following sign types are generally not considered appropriate within the Foundations: sky or roof top signs, third party advertising, advertising on street furniture or public facilities, pole or pylon sign greater than 8m, flashing and animated (moving signs) that may impact traffic safety, illuminated signs that would cause unacceptable light spill, permanent inflatable signs.
 3. Advertising structures should only be constructed where they are used in conjunction with a permissible use, on which the land is being used, unless used for navigation or has wider community benefit.
 4. Commercial and retail signage: A single business premises is permitted to have a maximum number of signs on each street frontage of the building as follows:
 - (a) One under awning sign;
 - (b) One top hamper sign or flush wall sign;
 - (c) One fascia or awing fascia sign;
 - (d) One A Frame sign on the footpath;
 - (e) Historic building identification signage.
 - (f) Window signs (of less than 20% of the window).
 5. Any community use may have one free standing advertisement within the front landscaped setback, and two integrated into the façade of the building.
 6. Temporary signs on any road frontage should be less than 6m² in surface area, located wholly within the boundaries of the property, not higher than 5m from ground level, not permanently fixed, not illuminated and be removed 2 days after the event.
 7. Any advertising associated with multi residential development or large subdivisions, with frontage to a major local road is permitted one low level free standing sign at the main entrance, being less than 8m² in area (1.5m high or 5m long), no more than 2m above ground level and integrated with landscaping or entrance design where possible.
 8. Mixed use development involving residential components, should maintain advertising outside of the residential component.
-

Note: Signage types are outlined within the Lithgow Development Control Plan 2021, Part 7.5.6.

PART 7 TRANSPORT, ACCESS AND PARKING

7.1 TRANSPORT NETWORK

Objectives

- (a) To create a mobility network that responds to the historic street grid of Portland and site influences.
- (b) To give priority to people walking, cycling and driving – in that order.
- (c) To provide a range of street types balancing capacity and character.
- (d) To provide the opportunity for rear lanes to improve vehicle access and servicing of cottage lots and mixed-use super blocks.

Controls

1. The mobility network and street sections are consistent with **Figure 23** to **Figure 28** below. However, alternate solutions will be considered if justified against the objectives.
2. The adjustment of detailed street design controls, such as kerb radius and vehicle lane width, will be considered if justified to improve the pedestrian experience and walkability.
3. All roads should allow for a 4m radius kerb return, as shown in **Figure 29**. 4m kerb radius is aimed at achieving a balance between traffic access and calming for promoting pedestrian and cycling modes of transport. **Figure 29** shows the swept path of the check vehicle being a 12.5m Heavy Rigid Vehicle which satisfies Austroads Guidelines.
4. Roads and laneways are to be dedicated to Council, unless proposed to be common property under a strata subdivision scheme.

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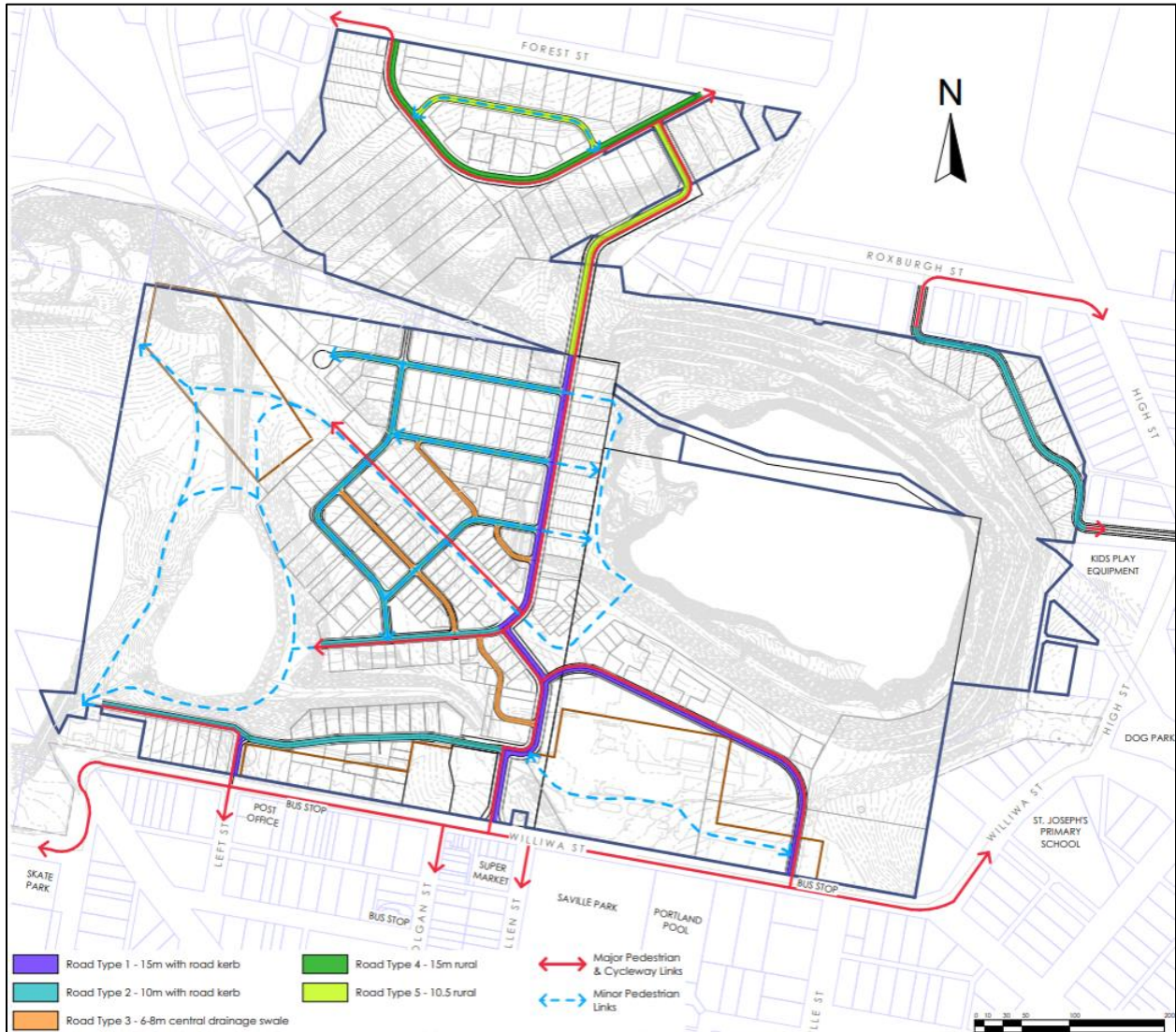


Figure 23. Street Typology

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

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Figure 24. Road Type 1 - Cross Section

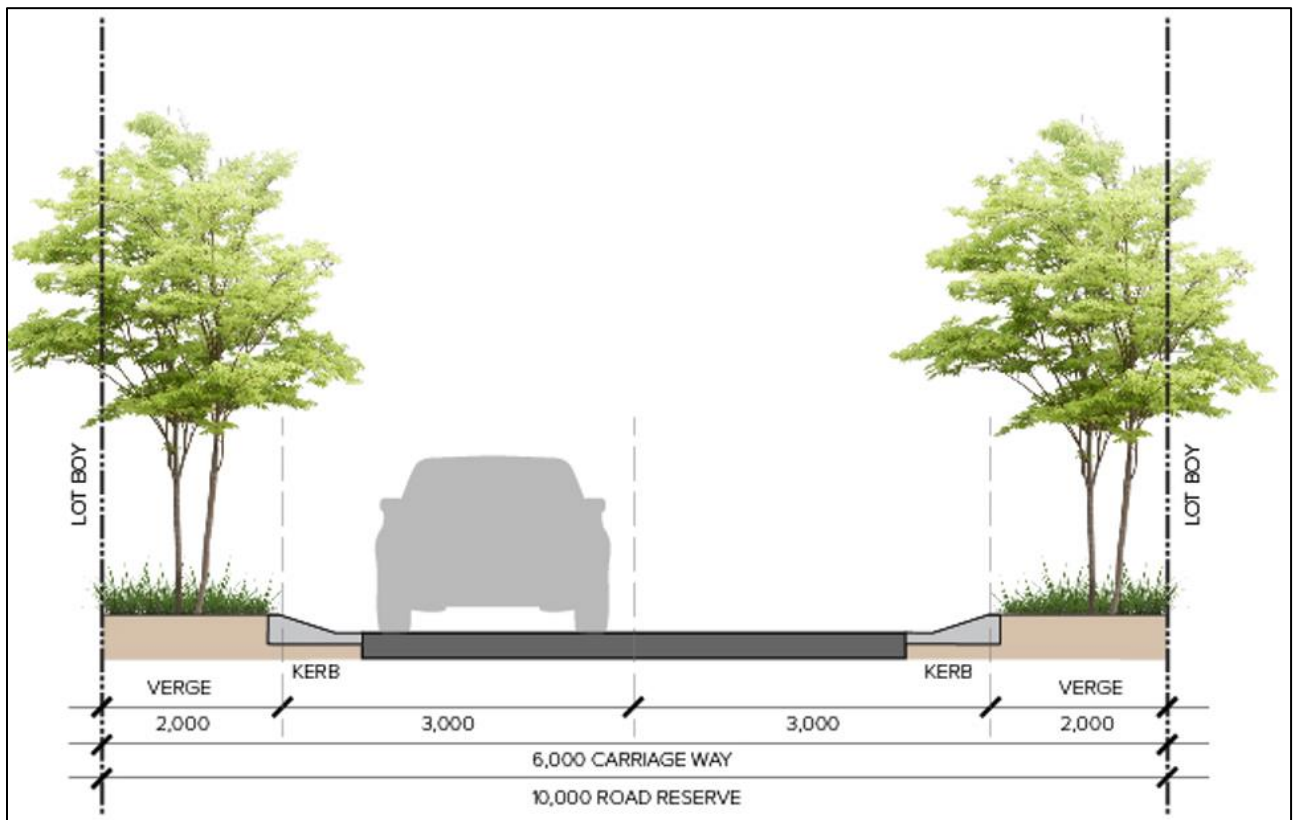


Figure 25. Road Type 2 - Cross Section

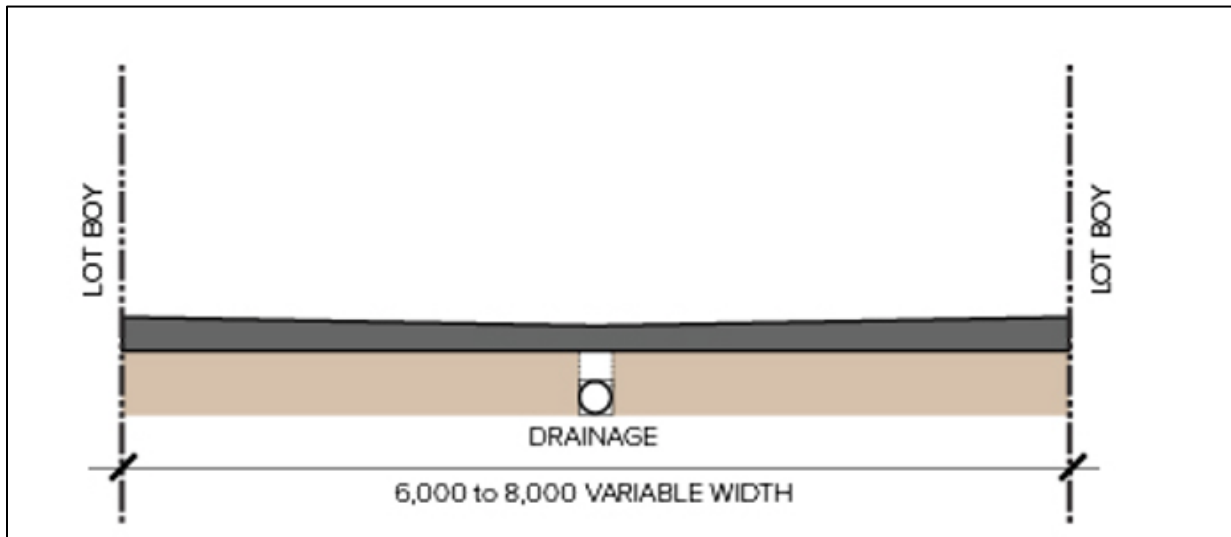


Figure 26. Road Type 3 - Cross Section

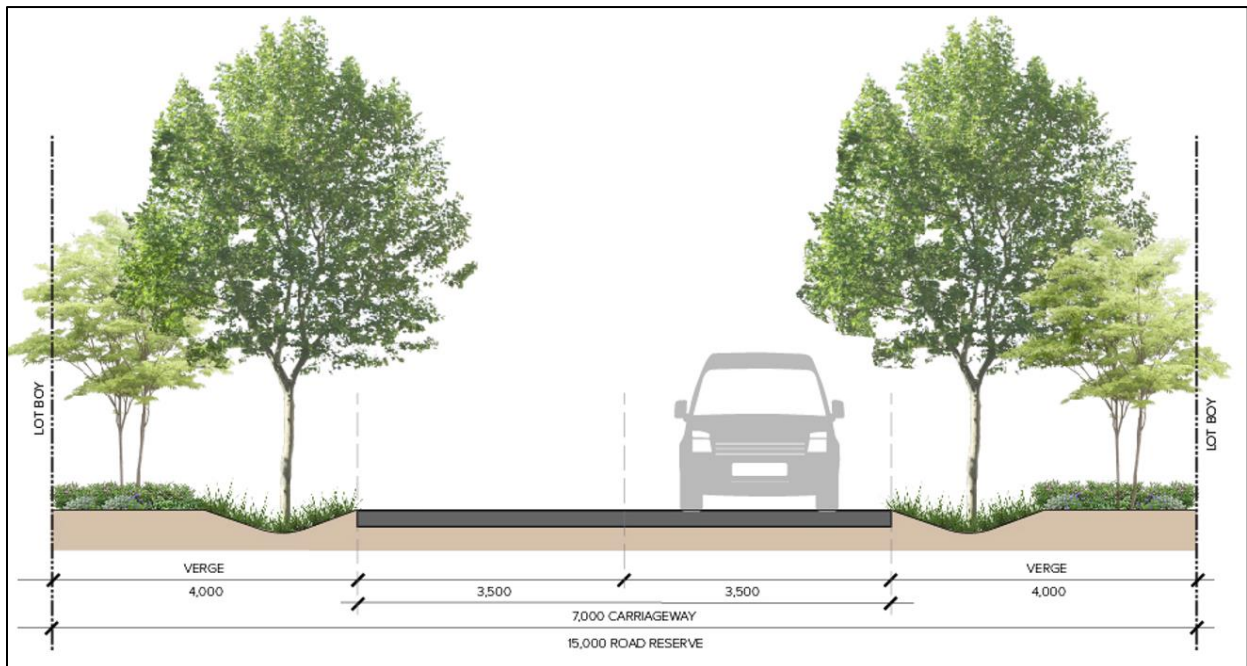


Figure 27. Road Type 4 - Cross Section

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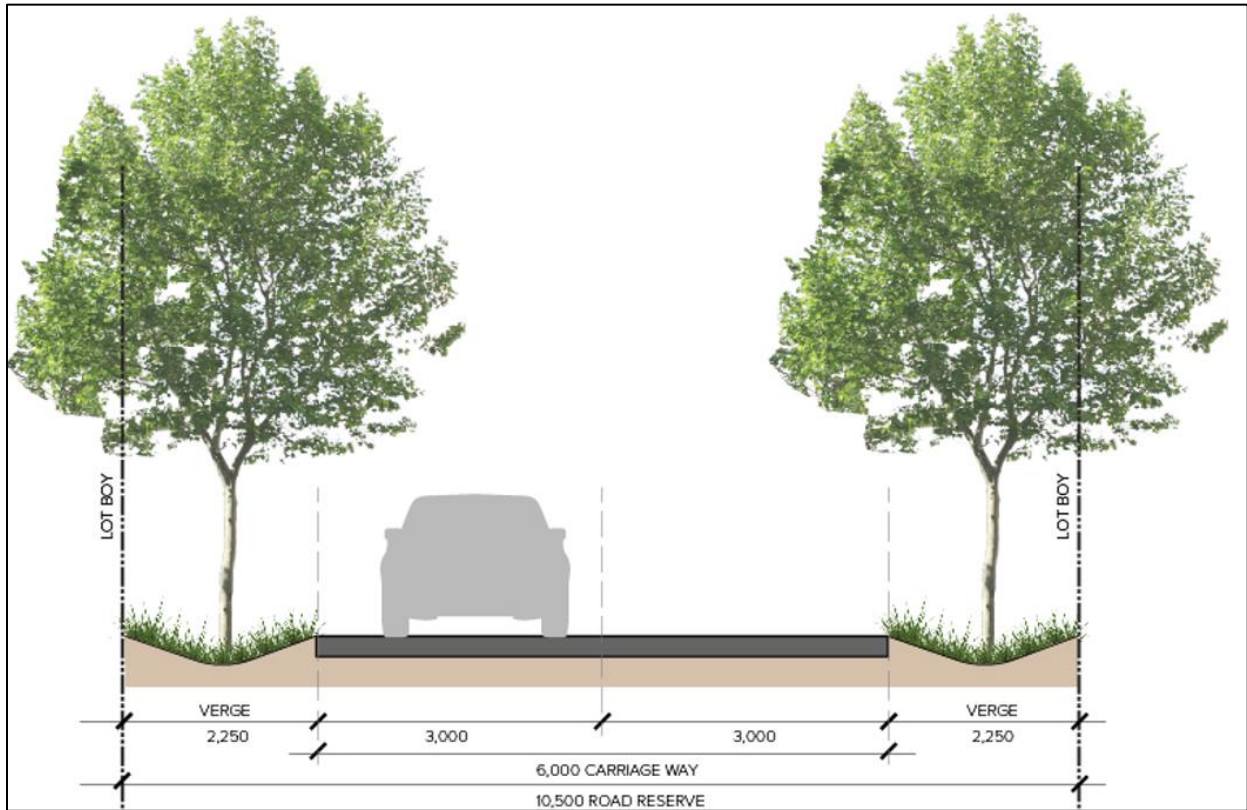


Figure 28. Road Type 5 - Cross Section

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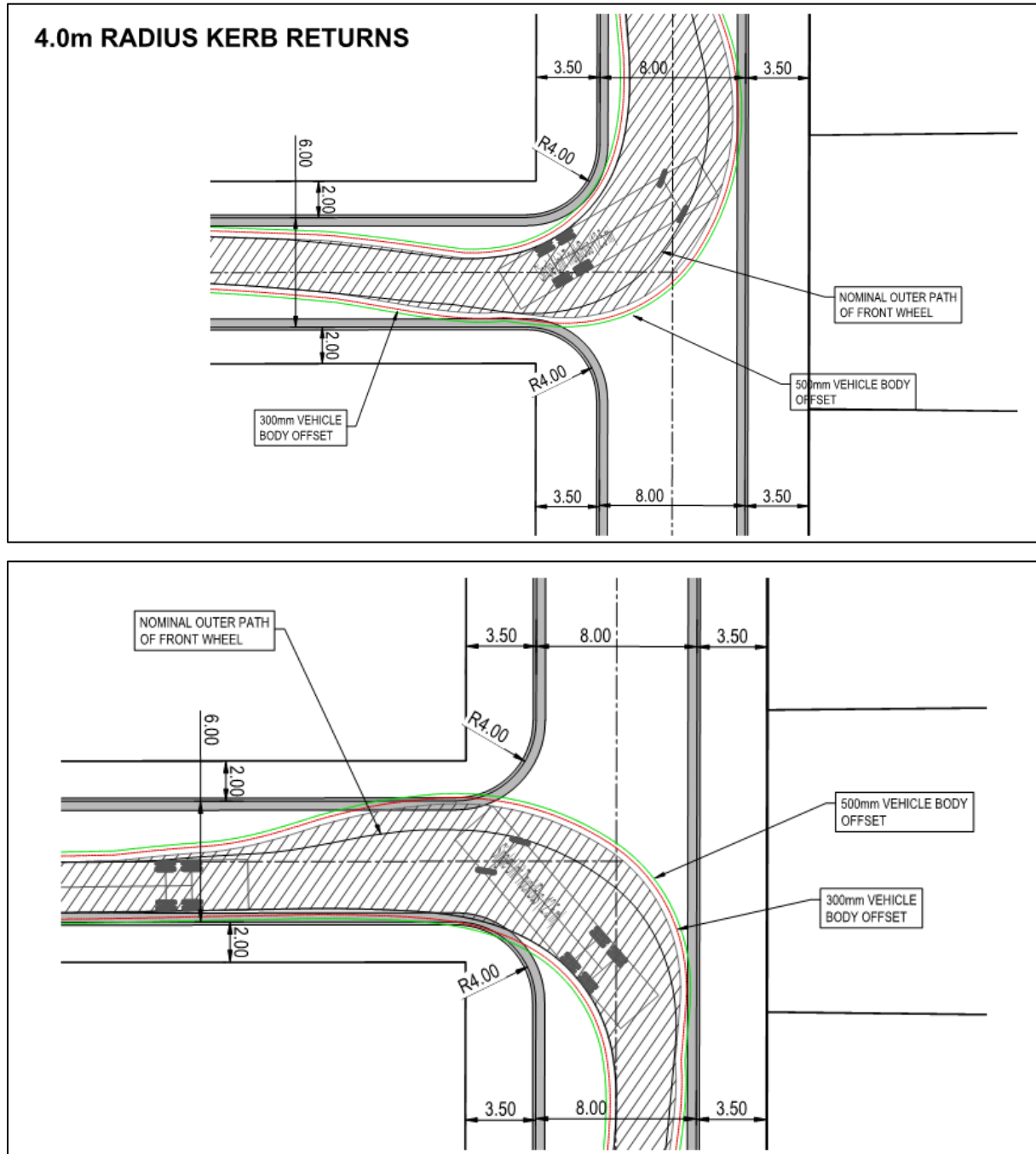


Figure 29. Kerb Radius

7.2 ACCESS AND SERVICING

Objectives

- (a) To ensure all development has safe and functional vehicle access and egress arrangements.
- (b) To minimise conflicts with pedestrian or cycle paths and ensure safety of all road users.
- (c) To ensure adequate loading, unloading, servicing and waste management for development.
- (d) To ensure accessibility for all users.

Controls:

- 1. Driveway width at the property boundary maximum 2.5m and 3.0m at the kerb line / pavement edge to reduce hard surfaces and promote landscaping of verges.
- 2. Blisters for any Water Sensitive Urban Design (WSUD) and landscaping are to be located to permit access to each parcel of land created along a street
- 3. Ensure service bays are located to minimise visual impacts to the streetscape and development.
- 4. Ensure waste vehicles can be appropriately accommodated for waste pick up.
- 5. Ensure that loading bays are provided as appropriate to the type of development.
- 6. Ensure appropriate sight lines are to be provided to achieve safe movement for pedestrians, cyclists and vehicles.
- 7. For all residential development, access and driveways to be in accordance with **Part 5** of this DCP.
- 8. No double driveways are provided across a verge to a single residential dwelling.
- 9. Medium density and multi-dwelling housing types may have driveways across the verge that satisfy AS2890.1 Parking facilities – Off street parking to the maximum width of 5.5m.

7.3 CAR PARKING

Objectives:

- (a) To ensure all development provides adequate off-street parking consistent with the demand generated by the development.

Controls:

- 1. Parking is to be provided to all residential development as outlined within **Part 5** of this DCP.
- 2. For all other development, a Traffic Statement is to be provided with a development application to ensure ample parking is provided on-site. This Traffic Statement is required to justify that there is ample on-street or alternative parking or modes of transport should no parking be provided on site.
- 3. On-site parking provision for non-residential development should consider the following elements:
 - Number of employees
 - Activity on site and parking demand generated
 - Availability of public or active transport modes

Parking provision should generally be in accordance with **TABLE 8**.

4. Parking is provided in accordance with the relevant Australian Standards.
5. A minimum of one (1) accessible parking space is provided for all commercial and non-residential development, unless there is no on-site parking proposed.
6. Car parking provided by hard stand surfaces is to be shaded using tree canopy shading within the landscape. incorporates elements of landscaping or greening to reduce the heat island effect.

7.4 ACTIVE TRANSPORT

Objectives:

- (a) To encourage and support alternative travel options, including active and public transport

Controls:

1. Bicycle parking spaces should be provided for all commercial and non-residential development in accordance with **TABLE 8**.
2. Bicycle parking for staff or residents should allow for secure bicycle storage.
3. Bicycle parking spaces should be clearly marked and easily accessible and safe.
4. End of trip facilities, including lockers should be incorporated into commercial and non-residential development in accordance with the *NSW Planning Guidelines for Walking and Cycling*.
5. Consider provision of parking areas for mobility scooters.
6. Ensure access is consistent with the needs of wheelchair users with the provision of universal access principles.

TABLE 8. PARKING PROVISION		
Use	Car Parking	Bicycle Parking
Tourist & Visitor Accommodation	1 space per unit or room and 1 space per 3 staff. A minimum of 1 visitor or drop off/reception space.	1 space per 4 staff (on-site at one time); and 1 space per 20 units/rooms
Business or Office premises	1 space per 50m ² GFA	1 space per 15 car parking spaces
Child care centres	1 space per 10 children + 1 space per 2 employees	1 space per 15 car parking spaces; and 1 space per 4 staff (on-site at one time).

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Community facilities/ place of public worship/assembly	1 space per 10m ² of GFA OR 1 space per 4 seats (whichever is greater).	1 space per 15 car parking spaces
Medical centre/ health consulting room	1 space per 50m ² GFA.	1 space per 15 car parking spaces; and 4 staff (on-site at one time).
Shop	1 space per 35m ²	1 space per 15 car parking spaces
Any other development	As justified through a Traffic Statement.	As justified through a Traffic Statement.

PART 8 STORMWATER AND WATER QUALITY

8.1 STORMWATER QUALITY MANAGEMENT

The Foundations site is unique because of the existing lakes that provide a water quality management function. These deep-water lakes are able to facilitate water quality management due to residence time so that the existing outlet receiving water, Limestone Creek, retains its existing water quality even with the development of the site for urban purposes.

Objectives:

- (a) To safeguard the environment by not reducing the quality of stormwater run-off entering receiving waters from the site at the culver that passes Limestone Creek under Carlton Street.
- (b) To minimise urban runoff pollutants to Limestone Creek at Carlton Street.
- (c) To use water sensitive urban design (WSUD) principles to retain stormwater runoff in the urban landscape where practicable.

Controls:

- 1. Any changes to the peak flow rate immediately upstream of Creek Street, because of the development shall be limited as far as practicable. Natural flow paths, discharge points and runoff peak flows from the Site should also be retained and maintained as far as practicable.
- 2. Stormwater from impervious areas directly connected to the existing lake system shall pass through gross pollutant traps (GPT), where practicable.
- 3. Impervious areas directly connected to the stormwater system shall be minimised. Where practical, WSUD measures such as directing stormwater runoff to grassed or pervious areas, filter strips, raingardens and other WSUD measures are encouraged to be used on development sites.
- 4. Future development must demonstrate that the potential impacts on groundwater and related groundwater dependent ecosystems (levels, flow or quality) are minimised where practicable.

8.2 STORMWATER DRAINAGE MANAGEMENT

Objectives:

- (a) To prevent stormwater damage to the built and natural environment by controlling flooding, stabilising the landform and avoiding erosion
- (b) To avoid generating stormwater discharges that exceed the capacity of the existing drainage system or cause a nuisance to adjoining or downstream properties, especially where Limestone Creek passes under Creek Street.
- (c) To provide a stormwater system that provides an efficient use of land and is compatible with adjoining uses

Controls:

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1. Stormwater systems shall be designed and constructed to provide for rainwater events for the minor storm event of 20% Annual Exceedance Probability (AEP) with control of the major event of 1% AEP. New developments and redevelopments are not to increase stormwater peak flows in any downstream areas.
2. Generally, the minor stormwater system will be contained within pipes and grassed swales, the major event will be controlled so that it does not enter private property and is conveyed to the receiving waters in such a manner that is consistent with the guidance contained in the current edition of Australian Rainfall and Runoff.
3. All designs shall be reviewed and endorsed by a Chartered Professional Engineer appearing on the National Engineering Register in the Area of Practice of civil engineering.

8.3 RAINWATER HARVESTING AND RE-USE

Objectives:

- (a) To appropriately locate and design rainwater tanks to minimise the visual impact on the rural, scenic or landscape character of the locality
- (b) To minimise the entry of contaminants into any water that may be harvested for drinking purposes

Controls:

1. Rainwater tanks are to be sited and designed to be compatible with the architectural style of the building including materials and colours, and are to have a non-reflective finish.
2. Rainwater tanks must utilise prefabricated materials or be constructed from prefabricated elements designed and manufactured for the purpose of construction of a rainwater tank.
3. The rainwater tank, and any stand for the tank, must be assembled and installed in accordance with the manufacturer's specifications and be structurally sound.
4. Rainwater tanks must not collect water from a source other than gutters or down pipes on a building or a water supply service pipe.
5. A rainwater tank must be enclosed and inlets screened or filtered to prevent the entry of foreign matter or creatures.
6. The following controls apply for all buildings not covered by SEPP BASIX:
 - a. Development installing any water use fittings must demonstrate minimum standards defined by the Water Efficiency Labelling and Standards (WELS) Scheme. Minimum WELS ratings are 4 star dual-flush toilets, 3 star showerheads, 4 star taps (for all taps other than bath outlets and garden taps) and 3 star urinals. Water efficient washing machines and dishwashers are to be used wherever possible.
 - b. Rainwater tanks are to be installed to meet 80% of non-potable demand including outdoor use, toilets and laundries.

8.4 FLOODING

Stormwater is currently conveyed through The Foundations site from external catchments. The catchments that discharge through the site have areas of approximately:

- 157ha to the east of Cullen Street across Williwa Street
- 37ha adjacent to St Stephen's Anglican Church
- 13ha from the catchments north-east of Murray Street

Stormwater that is conveyed through the site from these external catchments is controlled by existing drainage channels that convey discharges into the existing lakes on site, then ultimately to Limestone Creek which is located to the north-east of the site and crosses under Creek Street. From there discharges flow on to Williwa Creek, Jews Creek and then to the Turon River, which then flows into the Macquarie River and into Lake Burrendong.

Objectives:

- (a) Stormwater is to be conveyed through the site without adverse impact on the existing conveyance system, the lakes, and future developments.
- (b) Any stormwater channels should remain free from obstacles to ensure flooding does not occur.

Controls:

1. All new development sites to retain the existing freeboard from stormwater being conveyed through the site
2. Where there is potential to reduce the existing freeboard from development on the site, the project proponent is to provide a report that demonstrates that there will be no adverse impacts or that the changed freeboard will not practically alter the conveyance of stormwater through the site

PART 9 ENVIRONMENTAL MANAGEMENT

9.1 BIODIVERSITY

Objectives:

- (a) To enhance and encourage areas of established native vegetation, including areas of contiguous remnant vegetation.
- (b) To increase biodiversity across the wider precinct.
- (c) Promote and enhance the green grid within the precinct and connections to the wider green grid.

Controls:

1. Promote regeneration and native vegetation planting on all lots and across the precincts.
2. Established trees should be retained where practicable. A Tree Survey should accompany any development application where established native trees are proposed to be removed.
3. Any tree removal should be in accordance with the Lithgow Council Tree Removal Policy.
4. Focus on ensuring connections to existing and surrounding vegetation patches to encourage larger areas and connectivity of green spaces.

9.2 ECOLOGICALLY SUSTAINABLE DEVELOPMENT

Objectives:

- (a) To encourage development that incorporates measures to minimise potential energy use.
- (b) To include water minimisation initiatives within development.

Controls:

1. Development is to include sustainable building technologies and materials and use energy efficient fixtures within the building fit-out.
2. Water saving devices and techniques are to be included within the design and fit-out of residential development, including rainwater harvesting, dual flush toilets, use of non-potable water for irrigation and the like.

9.3 BUSHFIRE HAZARD

Objectives:

- (a) To allow for appropriate management of bushfire risk.
- (b) To ensure there is no undue risks from bushfire prone land.

Controls:

1. Development on bushfire prone land should be accompanied by a Bushfire Report and adhere to the Planning for Bushfire Protection Guideline 2019 (PBG).
2. Any Asset Protection Zones (APZ) required by existing development, or for new development should be maintained in accordance with the PBG.

9.4 HERITAGE CONSERVATION

Objectives:

- (a) To identify and protect areas that have particular heritage, cultural or scenic value either from major roads, identified heritage items or other public places.
- (b) To ensure development in these areas is located and designed to minimise its visual impact.

Controls:

1. A Heritage Impact Statement is to be submitted with any Development Application that affects an item of State or Local heritage significance to demonstrate that the items integrity and heritage significance is maintained.
2. A landscape plan and landscape management plan is to be submitted with any DA within the SHR State Heritage Curtilage.
3. A Heritage Impact Statement is submitted for any Development Application that is within the Heritage Curtilage and Local Heritage Conservation Area **Figure 30**.
4. Maintain the visual view corridor between the kiln and powerhouse buildings.
5. New buildings within the Heritage Curtilage and Local Heritage Conservation Area should respect the precincts heritage and in terms of siting, form and character, and not compete with historic items. Materials and finishes should be sympathetic.
6. Any development involving or adjoining a heritage item should be in accordance with the Conservation Management Plan (CMP) – Chapter 7 at **Appendix 3**.
 - a. A Heritage Maintenance Plan is to be submitted with any DA proposed on a heritage item.
 - b. Painted elements should be repainted in the original colour scheme, any unpainted areas should remain.
 - c. New uses should ensure the long term viability of the heritage item, with mixed uses being the most appropriate.
 - d. The use should not result in unsympathetic alterations to the significant buildings, and as such the current size and configuration of the heritage item should largely dictate the use.
 - e. Signage and lighting should be in harmony with the historic character of the lighting.
 - f. Signage or lighting fixings should be reversible and not damage significant heritage fabric. Free standing signage should be used for major signs and signage should not be attached to the brickwork walls of the buildings.
 - g. Any new services should be carefully considered and take into consideration the structure and fabric of the heritage item to minimise impacts. Grills and mesh to doors and windows is discouraged. Air conditioning units should be in discreet locations and in appearance and concealed from view.

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- h. No external alterations and additions should occur to State significant items, except for minor additions for services, and minor internal alterations in areas of least significance.
- i. New buildings or alterations adjoining heritage items should be identifiable and where possible reversible. New fabric should not lessen the cultural significance of the place.

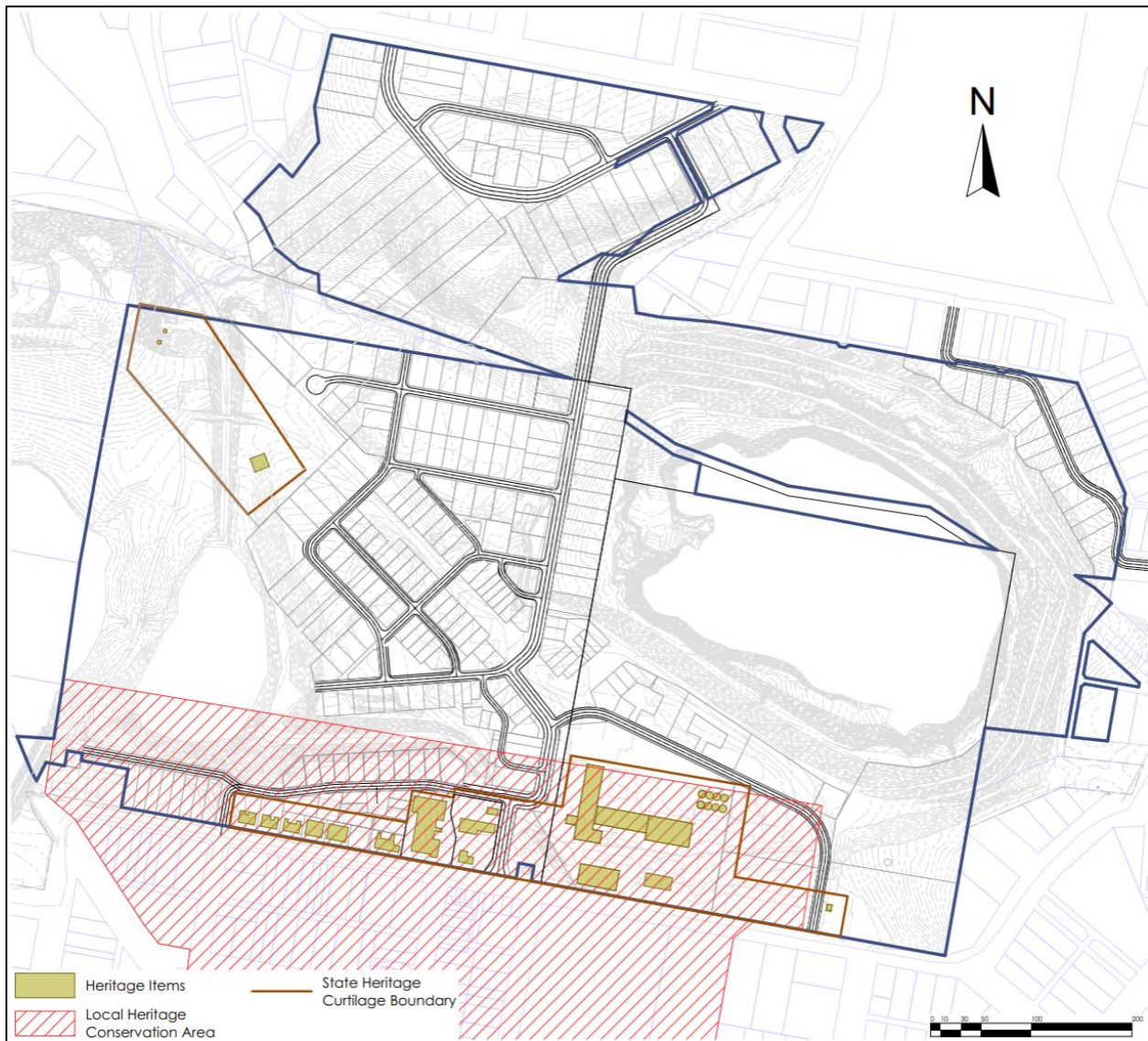


Figure 30. Heritage Curtilage Map

9.5 INDIGENOUS HERITAGE

Objectives:

- (a) To protect and enhance and celebrate areas of Indigenous cultural significance.

- (b) To consult with the Aboriginal community regarding the heritage management of the Foundations Precinct.

Controls:

1. Should any Aboriginal objects be encountered, work must cease in the vicinity and the find should not be moved until assessed by a qualified archaeologist. If the find is determined to be an Aboriginal object the archaeologist will provide further recommendations, which may include notifying NSW Environment and Heritage Group (EHG) and Aboriginal stakeholders.
2. Should any Aboriginal objects be uncovered during construction, excavation or disturbance of the area shall cease immediately and the National Parks Division of the EHG is to be informed in accordance with Section 91 of the National Parks and Wildlife Act 1974.
3. If any suspected human remains are discovered during any activity, all work must be ceased immediately at that location and not further moved or disturbed. The NSW Police and EHG's Environmental Line must be contacted on 131 555 as soon as practicable and provided with details of the remains and their location. Work at that location cannot be recommenced unless authorised in writing by EHG
4. The proponent should inform Aboriginal stakeholders about the management of Aboriginal cultural heritage sites throughout the life of the project.
5. The final Aboriginal Cultural Heritage Assessment Report will be sent to the Registered Aboriginal Parties, the client, EHG and the AHIMS register for their records.

9.6 WASTE MANAGEMENT

Objectives:

- (a) To facilitate sustainable waste management practices during the demolition, construction and operational phases of the development
- (b) To minimise the environmental impacts of waste through waste avoidance, minimisation, re-use and recycling.

Controls:

1. A Waste Management Plan is to be prepared and lodged with a development application involving demolition, construction and/or changes of use.
2. A Waste Management Plan shall include details regarding:
 - The types and volumes of waste and recyclables generated during the demolition, construction and operational phases;
 - Details of on-site storage and/or treatment of waste during the demolition, construction and operational phases;

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- Disposal of waste generated during the demolition and construction phases which cannot be re-used or recycled;
- Ongoing management of waste during the operational phase of the development.

9.7 SITE CONTAMINATION

Objectives:

- (a) To minimise the risk to human health or any other aspect of the environment from the development of potentially contaminated land.
- (b) To provide for the detailed assessment and remediation of potentially contaminated land at the subdivision stage.

Controls:

1. A Preliminary Site Investigation is required as part of any DA, to identify if contamination is present, unless previously undertaken at a Site wide or sub-precinct scale and deemed that no further action is required.
2. Should a Preliminary Site Investigation identify potential or actual contamination, a Detailed Site Investigation is required and subsequent reports such as a Remediation Action Plan must be prepared in accordance with the relevant guideline.
3. Remediation works identified in any Remediation Action Plan will require separate consent prior to commencing this remediation work. Where remediation works have been undertaken, these must be certified.
4. Where any proposed development and its operation involves significant quantities of chemical or petroleum use or storage or harmful materials or waste products on the site, the applicant demonstrates how the proposed development; will manage and safely contain any chemicals, materials or wastes on the site and/or during their disposal or transport to/from the site in accordance with the relevant regulations; and is designed to minimise or mitigate the risk of contamination to land, surface and ground water, or ecological systems both during normal operations and if in the event the normal systems fail.

PART 10 INFRASTRUCTURE AND SERVICES

10.1 UTILITY SERVICES

Objectives:

- (a) To develop the Site in a logical manner, taking into account the availability of existing utility services and required upgrades.

SITE SPECIFIC DEVELOPMENT CONTROL PLAN

The Foundations

- (b) To provide for the timely provision and funding of extended and/or upgraded services.

Controls:

Water and Sewer

1. Development consents will include a condition requiring the applicant to provide evidence that arrangements satisfactory to Lithgow Council have been made for water supply and sewer services to the development;
2. Applicants will be required to fund the design and construction of water and sewer services upgrades required to meet the anticipated demands of future industrial users. This may include:
 - A direct connection is to be made to the existing trunk water mains.
 - A lead-in main to provide a sewer connection to the Site.

Electricity

3. Electricity services are to be provided in accordance with the relevant energy services provider.
4. Applicants will be required to obtain a certificate from the service provider outlining their notification of arrangements for servicing the Site, including the provision of street lighting.
5. Electricity infrastructure is to be placed underground in shared trenches.

Telecommunications

6. Telecommunications services (NBN) are to be provided in accordance with the requirements of the relevant services provider.
7. Telecommunications services shall be funded by the applicant, including completion of consultation and design certification required to provide a fibre ready pit and pipe in accordance with relevant services provider guidelines.

APPENDIX 1 PLACE LED DCP PRIMER

APPENDIX 2 LANDSCAPE DESIGN GUIDELINE

APPENDIX 3 CONSERVATION MANAGEMENT PLAN