

Contents

DACC 01 Cover Page
 DACC 02 Site/Roof Plan - Existing
 DACC 03 Floor Plan - Existing
 DACC 04 Site/Roof Plan - Proposed
 DACC 05 Floor Plan - Proposed
 DACC 06 Elevations 1 & 2
 DACC 07 Elevations 3 & 4
 DACC 08 Sections AA & BB



Specification

General

- Design & Construct drawings prepared on the basis of DA approved drawings and the Client supplied Design Brief.
- Dimensions are in millimetres unless otherwise noted.
- All dimensions shall be verified on site by Contractor prior to commencement of any works.
- Figured dimensions take precedence over scaled.
- Do not scale off drawings.
- It is the responsibility of the Builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- NCC refers to the National Construction Code - Volume 1 2022, Building Code of Australia, Class 2 to 9 Buildings
- All discrepancies are to be referred to designer for action.
- Ground levels shown are subject to preliminary survey only and as such final levels and confirmation of same remains the Contractors responsibility.
- No liability will be accepted due to failure to observe & implement any of the above.

Statutory Requirements - NCC Volume 1 2022

- All work to be carried out in accordance with the NCC, conditions imposed by the local authority and the commitments outlined in the relevant Part J Assessment.
- The Builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works.
- Soil & sediment erosion control in accordance with requirements of the department of land & water conservation are to be put into place prior to commencement of building works.
- Prior to the commencement of building work, the Builder shall provide temporary toilet facilities for the use of subcontractors. On completion the Builder shall remove the amenity.

BCA Requirements

- All materials shall comply with Section B - Structure of the NCC.
- All materials & assembly materials & structure must comply with Specification 7 of the NCC.
- All selected floor coverings to comply with Clause C2D11 of the NCC. A compliance report is to be provided to Council prior to granting of the Occupation Certificate in accordance with this Clause.
- All wet area floors are to be graded and drained to floor wastes to NCC & plumbing codes.
- An approved impervious wall/floor joint is to be provided to the perimeter of all wet areas to NCC & Council requirements.
- The electricity supply system must comply with Clause C3D14 of the NCC.
- All services penetrating building elements required to have an FRL are to be done so in accordance with NCC Clause C4D15 Openings for Service Installations.
- All construction joints, spaces and the like in and between building elements required to be protected are to be done so in accordance with NCC Clause C4D16 Construction Joints.
- Exits must be constructed in accordance with Part D2 of the NCC
- The unobstructed height of the exit path must not be less than 2m in accordance with NCC Clause D2D7.
- The unobstructed width of the exit path must not be less than 1m in accordance with NCC Clause D2D8.
- The stair, handrails & balustrades shall comply with Part D3 'Construction of exits' of the NCC.
- Doors & operation of latches are to comply with Parts D3D24, DD3D25 & D3D26 of the NCC.
- All accessible doors shall have a luminance contrast in accordance with AS 1428.1 - 2009 Clause 13.1 Luminance contrast.
- Thresholds shall comply with Clause D3D16 of the NCC.
- Location of services & equipment must comply with Clause D3D8 of the NCC.
- All full height glazing to have visual indicators in accordance with BCA 2016 Clause D4D13 Glazing on an accessway.
- Enclosure of space under Non fire-isolated stairs to comply with NCC Clause D3D9(2)(a). Enclosing walls and ceilings to have an FRL of not less than 60/60/60; and, ii. access doorway to the enclosed space to be fitted with a self-closing -/60/30 fire door
- Disabled access is to comply with AS1428.1.
- Accessible facilities, services & features are to comply with Clause D4D7 of the NCC.
- Tactile indicators are to be provided to comply with Clause D4D9 of the NCC.
- Certificates relating to essential services (list to come from Council) shall be submitted pursuant to Section E of the NCC.
- Exits are not to be locked at point of discharge.
- An automatic smoke detection and alarm system complying with Specification 20 E2D5 General Requirements of the NCC.
- An emergency lighting system is to be provided in accordance with AS 2293.1 and Clause E4D2 of the NCC.
- Exit signage must be supplied and operated in accordance with Clauses E4D5 & E4D8 of the NCC.
- Directional signage must be installed in accordance Clause E4D6 of the NCC.
- Fire precautions during construction shall be undertaken in accordance with Section D, Clause E1D16 of the NCC.
- All stormwater drainage work shall be carried out to comply with Clause F1D3 of the NCC & AS/NZ 3500.3.
- All roof coverings to be installed in accordance with Clause F3D2 of the NCC & AS/NZ 1562.1.
- All Sarking to be provided and installed in accordance with Clause F3D3 of the NCC.

BCA Requirements continued

- Wet area waterproofing shall be carried out in accordance with Clauses F2D2 & F2D3 of the NCC.
- All damp-proofing to be carried out in accordance with Clauses F1D6 & F1D7 of the NCC.
- All wet area floors are to be graded and drained to floor wastes in accordance with Clause F2D4 of the NCC.
- To comply with Clause F3D4 & Part J2 of the BCA, window and door frame and glazing qualities are to be supplied in accordance with the Glazing calculator attached to the BCA Part J Assessment.
- Adequate means of disposal of sanitary towels must be provided in sanitary facilities for use by female in accordance with Clause F4D4 Facilities in Class 3 to 9 buildings of the NCC.
- Disabled toilets & the fit out of the same are to comply with Part F4D5 of the NCC & AS1428.1.
- An accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf, or bench top and adequate means of disposal of sanitary towels in accordance with Clause F4D5d Accessible sanitary facilities of the NCC.
- The circulation spaces, fixtures and fittings of all accessible sanitary facilities must comply with F4D5d Accessible Sanitary Facilities of the NCC and AS1428.1
- Artificial lighting must be provided in accordance with Clause F6D5(1) and (2) of Artificial lighting.
- The ventilation of each room is to comply with Clause F6D6 of the NCC. The proposed mechanical ventilation system is to comply with AS 1688.2 and AS/NZS 3666.1.

Signage must be provided in accordance with BCA 2022 Clause D4D7 Signage

- In a building required to be accessible—
- (a) braille and tactile signage complying with Specification 15 must -
 - (i) incorporate the international symbol of access or deafness, as appropriate, in accordance with AS 1428.1 must identify each -
 - (A) sanitary facility, except a sanitary facility associated with a bedroom in a Class 1b building or a sole occupancy unit in a Class 3 or a Class 9c building; and
 - (B) space with a hearing augmentation system; and
 - (ii) identify each door required by E4D5 to be provided with an exit sign and state -
 - (A) "Exit" and
 - (B) "Level"; and
 - (C) the floor level number or floor level descriptor, or a combination of the two.
 - (b) signage including the international symbol of deafness in accordance with AS 1428.1 must be provided within a room containing a hearing augmentation system identifying -
 - (i) the type of hearing augmentation; and
 - (ii) the area covered within the room; and
 - (iii) if receivers are being used and where the receivers can be obtained; and
 - (c) signage in accordance with AS 1428.1 must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right handed use; and
 - (d) signage to identify an ambulant accessible sanitary facility in accordance with AS 1428.1 must be located on a door of the facility; and
 - (e) where a pedestrian entrance is not accessible, directional signage incorporating the international symbol of access in accordance with AS 1428.1 must be provided to direct the person to the location of the nearest accessible pedestrian entrance; and
 - (f) where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility, directional signage incorporating the international symbol of access in accordance with AS1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility.



Date	Issue	Amendment	Date	Issue	Amendment
28/06/23	A		28/06/23	A	Issued for comment
04/07/23	B		04/07/23	B	Issued for comment
19/01/24	C		19/01/24	C	Issued for final comment
23/01/24	D		23/01/24	D	ISSUED FOR APPROVAL

Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheetting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
- F Fixed Glass
- FW Floor Waste
- GM Gas Meter
- HC Hollow Core
- HWS Hot Water Service
- LDRY Laundry
- MH Manhole
- PB Plasterboard
- PFC Painted Fibre Cement
- O Fixed Panel
- OG Obscure Glass
- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- W Washing Machine
- WM Water Meter
- X Sliding panel

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12 MAXWELL DRIVE, EGLINTON NSW 2795



- Notes:**
1. Builder to confirm coordination of architectural and structural documentation prior to construction.
 2. All dimensions are to be verified on site by contractor prior to commencement of any works.
 3. All discrepancies are to be referred to designer for action.



Area Schedule

Convenience Store	126.1 m ²
Detached Building	30.5 m ²
Total Building Area	156.6 m²
Lot 1	610.9 m ²
Lot 616	676.9 m ²



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Alterations & Additions to Existing Fuel Station
Midtown Fuels
325 Main Street LITHGOW 2790



Site/Roof Plan - Existing
DACC 02

Issue: D Date: 23/01/24
Scale: 1:200 @ A2 Project: BMD181927

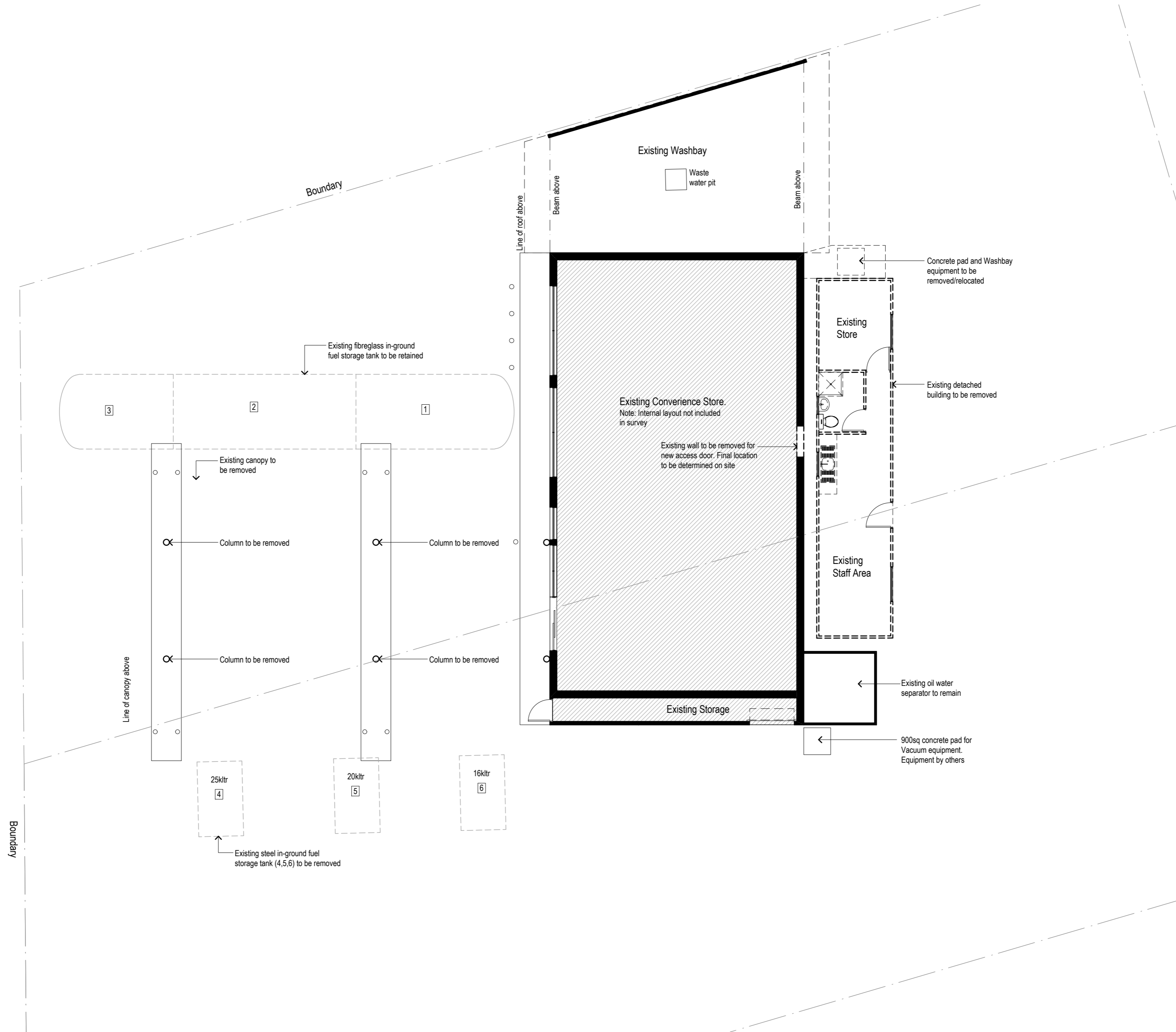
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Area Schedule

Convenience Store	126.1 m ²
Detached Building	30.5 m ²
Total Building Area	156.6 m²
Lot 1	610.9 m ²
Lot 616	676.9 m ²



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Floor Plan - Existing
DACC 03

Issue: D
Scale: 1:100 @ A2

Date: 23/01/24
Project: BMD181927

Legend

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Notes:

1. Builders to confirm coordination of structural and architectural documentation prior to construction.
2. All dimensions are to be verified on site by contractor prior to commencement of any works.
3. All discrepancies are to be referred to designer for action.
3. Refer to Engineer's documentation for all structural design issues.
4. Provide all required flashings, cappings etc necessary for roofing and associated vents etc. To be installed in strict accordance with the appropriate Australian standard.
5. Provide sediment & erosion control measures to Council requirements. They are to be in place prior to commencement of any site work. Provide sediment fence on downhill side of any excavations & stockpiles. Provide wash down bay to Councils requirements



Area Schedule

Convenience Store	126.1 m ²
Proposed Storage	46.2 m ²
Total Building Area	172.3 m²
Lot 1	610.9 m ²
Lot 616	676.9 m ²



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Site/Roof Plan - Proposed
DACC 04
 Issue: D Date: 23/01/24
 Scale: 1:200 @ A2 Project: BMD181927

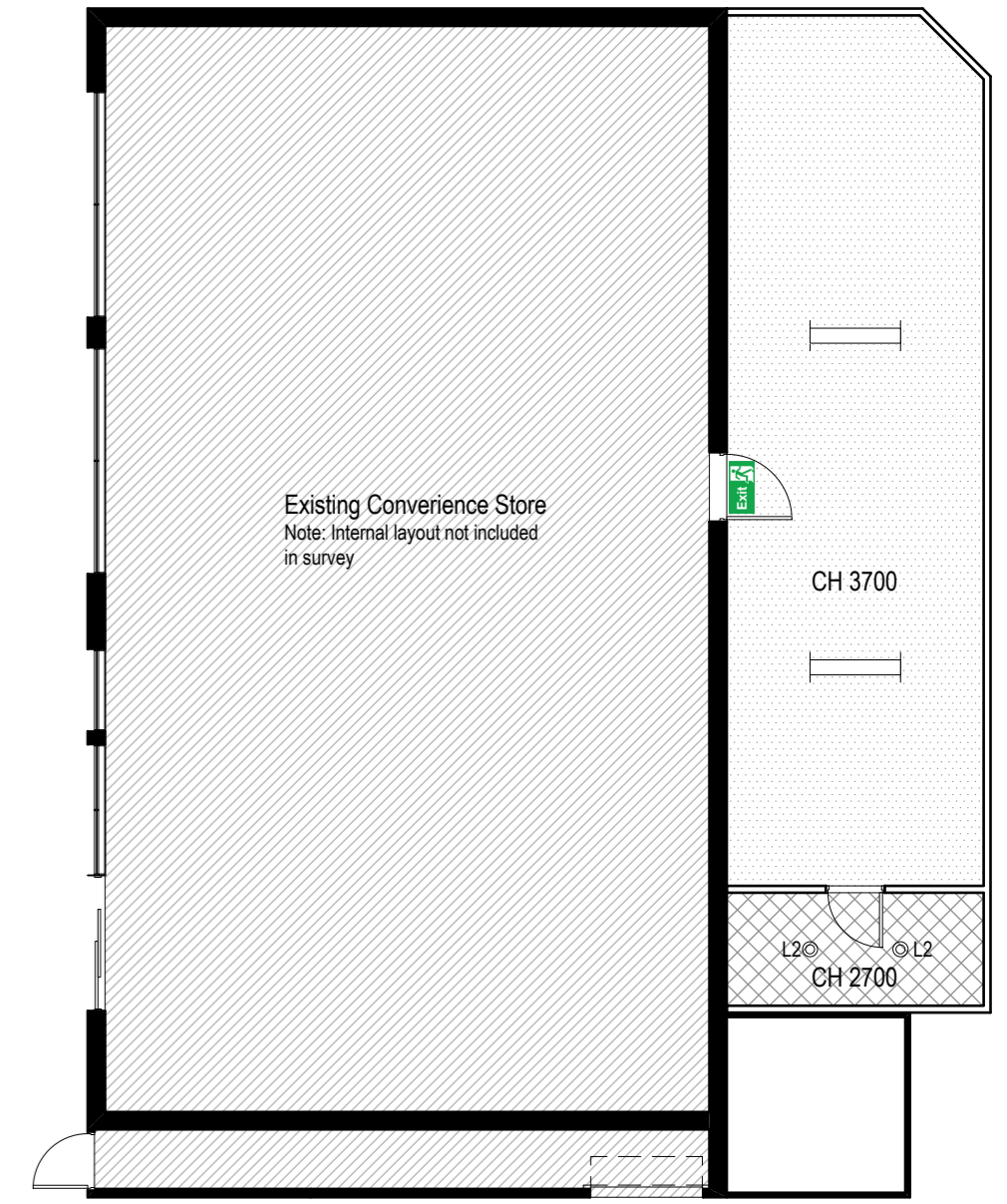
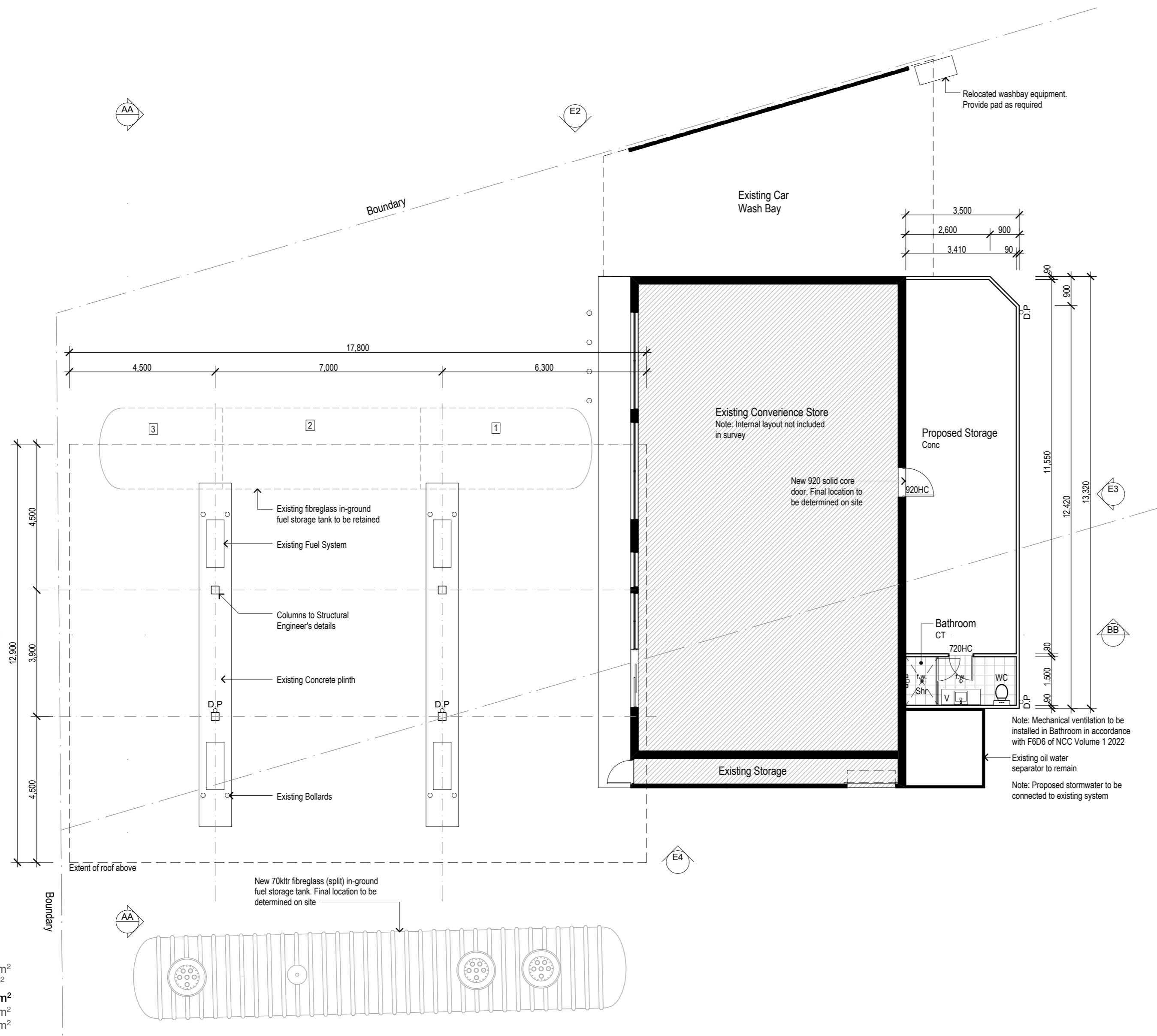
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Area Schedule

Convenience Store	126.1 m ²
Proposed Storage	46.3 m ²
Total Building Area	172.3 m²
Lot 1	610.9 m ²
Lot 616	676.9 m ²

- Floor Insulation Requirements**
 R1.8 foam insulation to be installed around slab edge of conditioned portion of building
- Wall Insulation Requirements**
 90mm Framed walls with (minimum) R1.0 Insulation
- Roof / Ceiling Insulation Requirements**
 Selected colorbond roof sheeting with (minimum) R3.5 Insulation

Floor Plan - Proposed
 Scale 1:100

Reflected Ceiling Plan
 Scale 1:100

- Legend**
- Flush finished plasterboard ceiling. CH 3700mm AFFL
 - Flush finished wet area plasterboard ceiling. CH 2700mm AFFL
 - Exit light

Note:
 Bathroom exhaust fan to be discharged to the exterior of the building. Exhaust fan to be provided with a self-closing damper in accordance with Clause J5D6 Exhaust Fans of NCC Volume 1 2022

Part J Lighting Calculations

Lighting Type - Internal	QTY	Total (W)
⊙L2 12W recessed LED downlight	2	24
▬ 40W surface mounted LED batten	2	80
Total:	104	

The maximum allowable illumination for the proposed development is 123W. Refer to BCA Part J lighting calculator. A total of 104W is being proposed for this development.



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Floor Plan - Proposed
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 Scale: 1:100 @ A2
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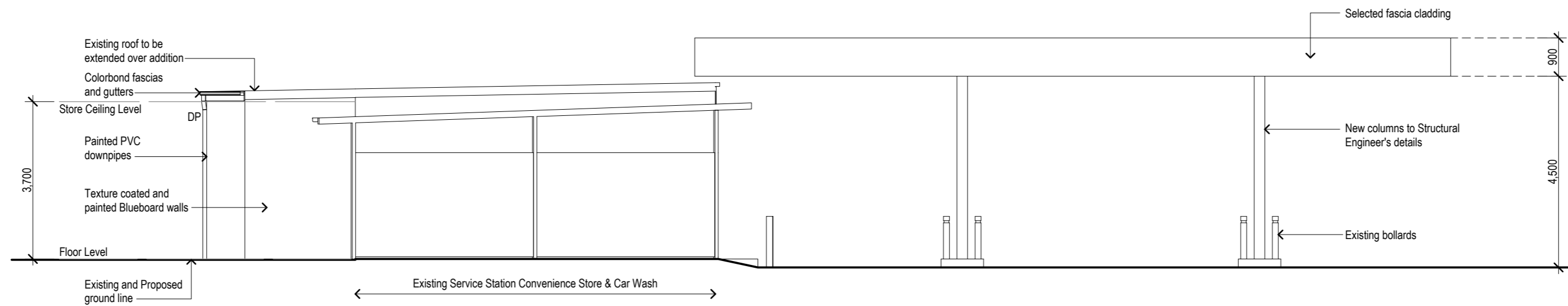
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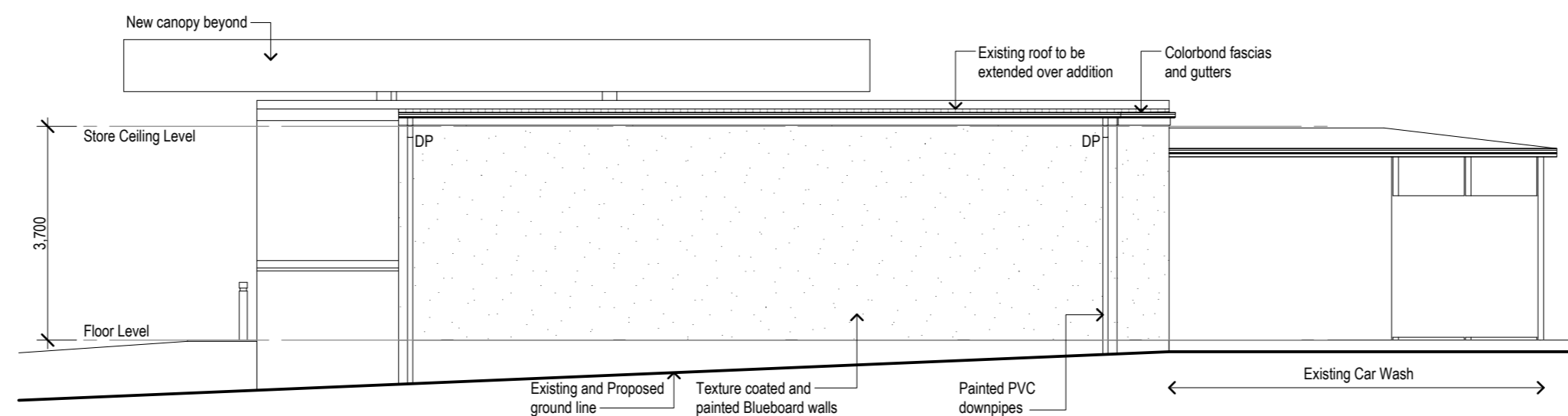
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Elevation 1
Scale 1:100



Elevation 2
Scale 1:100



Elevation 3
Scale 1:100

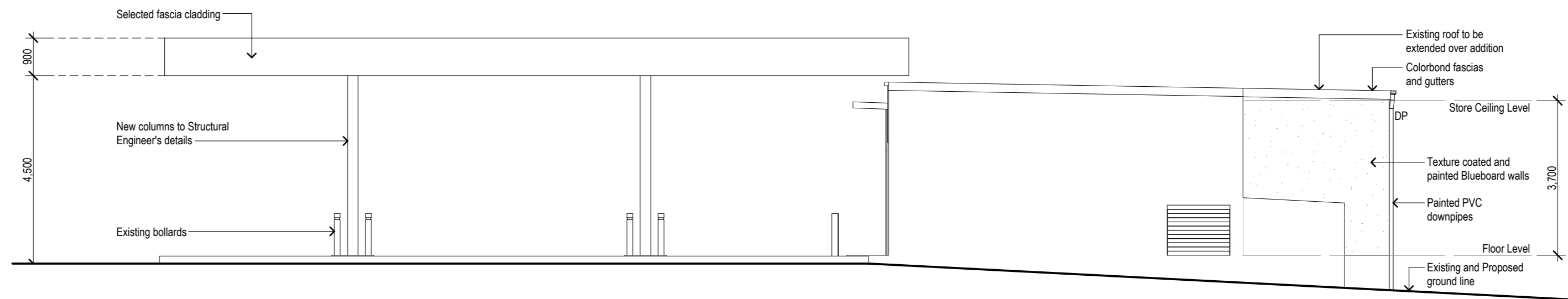
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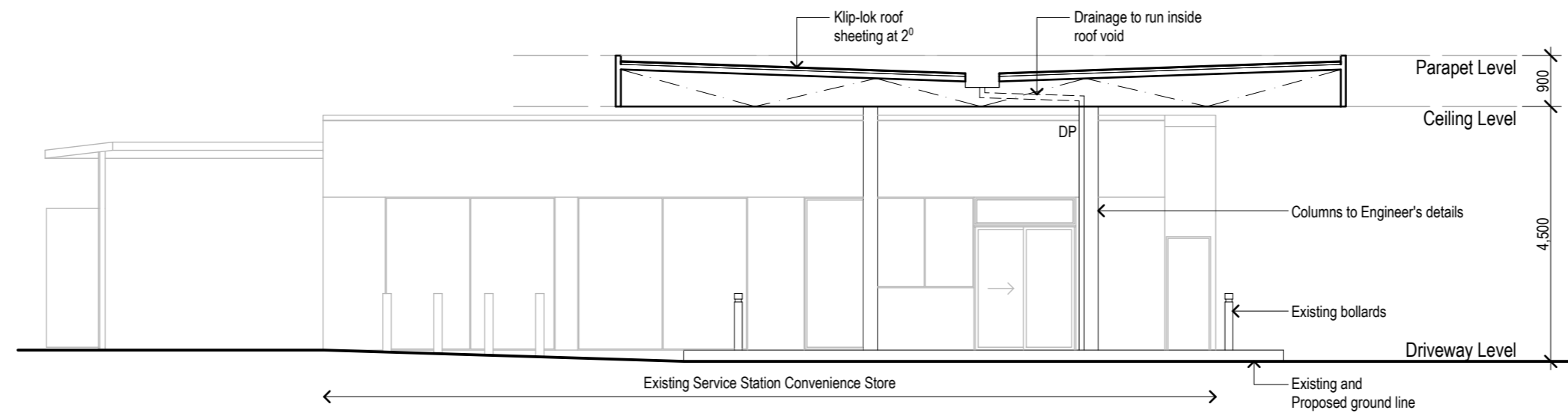
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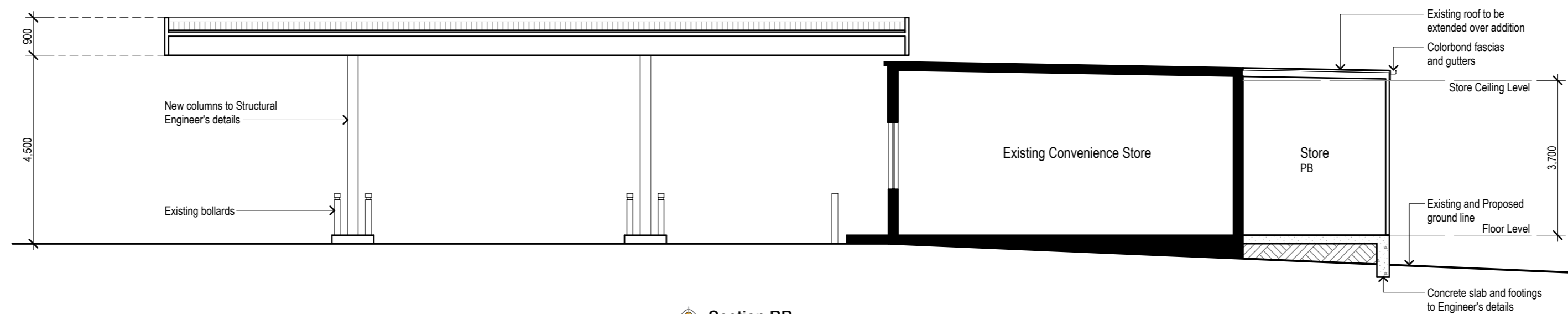
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Elevation 4
Scale 1:100



Section AA
Scale 1:100



Section BB
Scale 1:100