MAIN STREET CAP PTY LTD

SERVICE STATION DEVELOPMENT

353 Main Street Lithgow NSW 2790

DRAWING SCHEDULE

DAOO | EXISTING SITE & DEMOLITION PLAN

DAOO2 PROPOSED SITE PLAN

DAOO3 PROPOSED DIMENSIONED SITE PLAN

DAOO4 PROPOSED ROOF PLAN

DAOO5 PROPOSED SHOP FLOOR PLAN

DAOOG PROPOSED SHOP ELEVATIONS

DAOO7 PROPOSED SHOP ELEVATIONS

DAOO8 PROPOSED FUEL CANOPY

DAOO9 PROPOSED DIESEL CANOPY

DAO I O PROPOSED DRIVE THRU AWNING

DAO I I PROPOSED SALES BOARD DETAILS

DAO I 2 PROPOSED LANDSCAPING PLAN

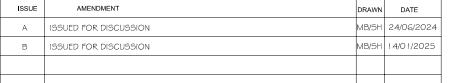
SURVEY

ISSUED:24/06/2024

RE ISSUE: | 4/0 | /2025

ISSUED FOR DEVELOPMENT APPROVAL NOT FOR CONSTRUCTION





DO NOT SCALE DRAWING CONTRACTORS TO CHECK ALL SITE DIMENSIONS & LEVELS BEFORE COMENICEMENT OF WORK WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE

Go Go Petroleum Builder, developer & specialist retailer since 1993 retailer Since 1993 No. 666 Main St, BAIRNSDALE, VIC, 3875 ph 0417 492 759 email mick2374@gmail.com 'Concept to completion'

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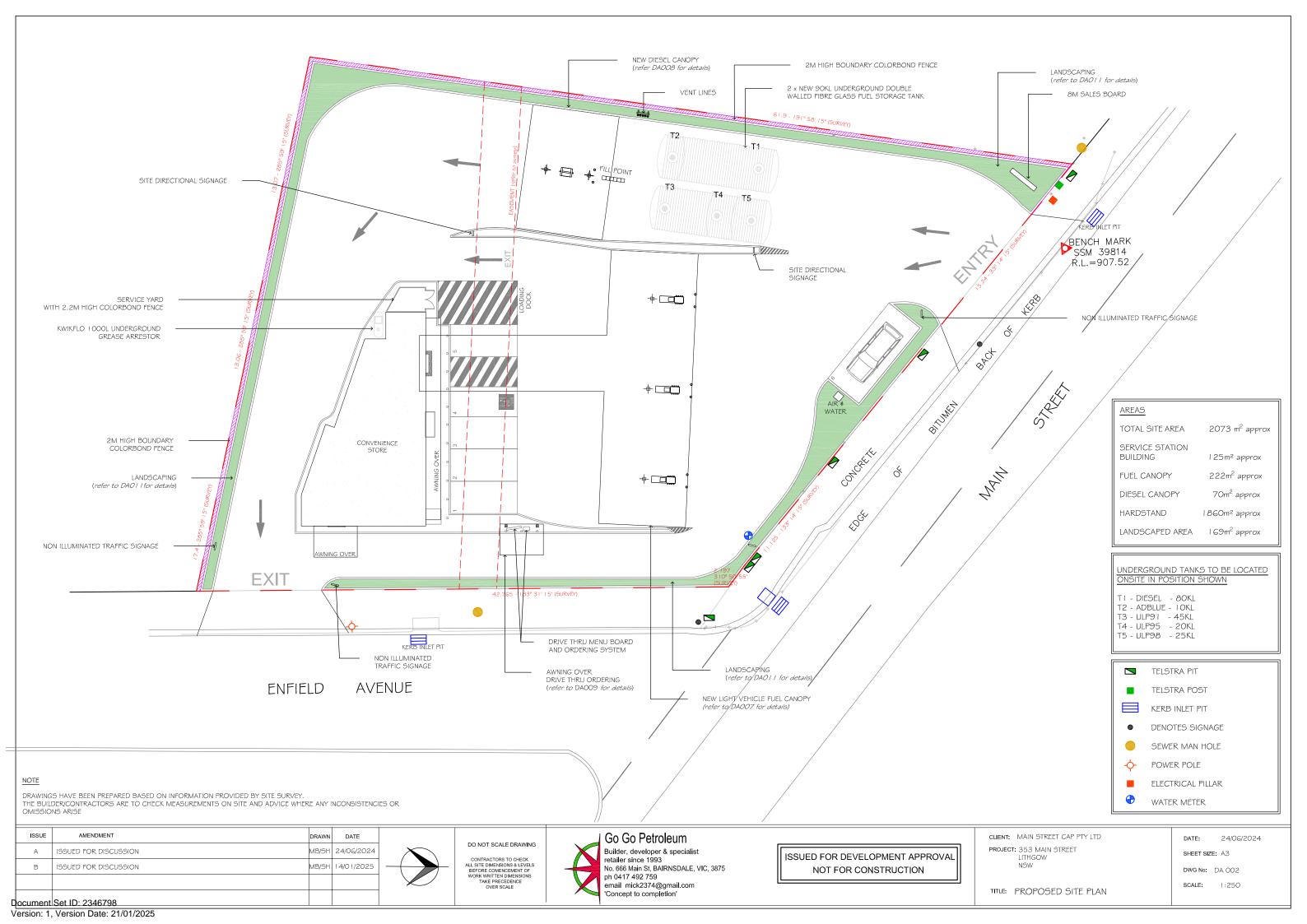
CLIENT: MAIN STREET CAP PTY LTD PROJECT: 353 MAIN STREET LITHGOW NSW

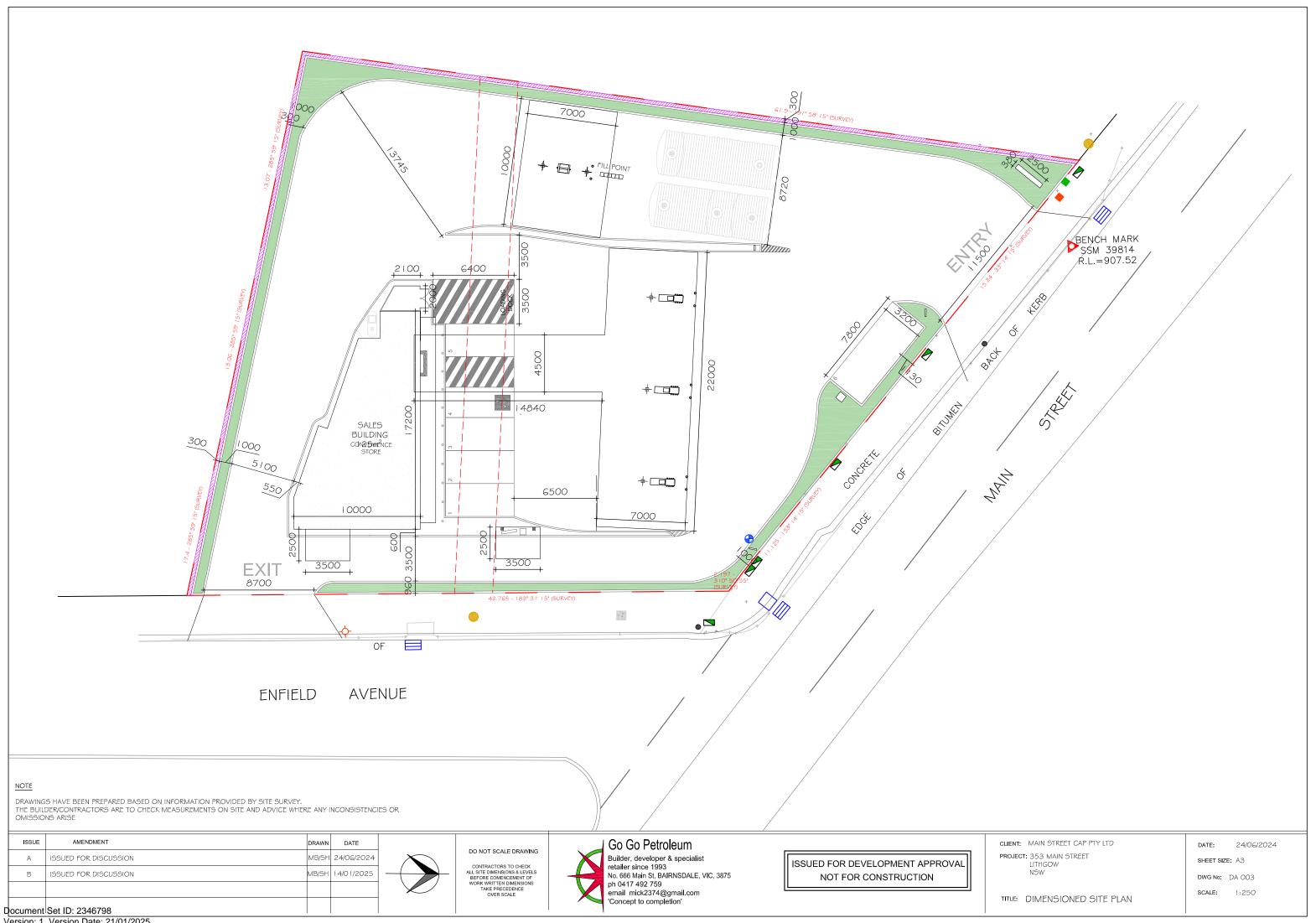
TITLE: EXISTING SITE & DEMOLITION PLAN

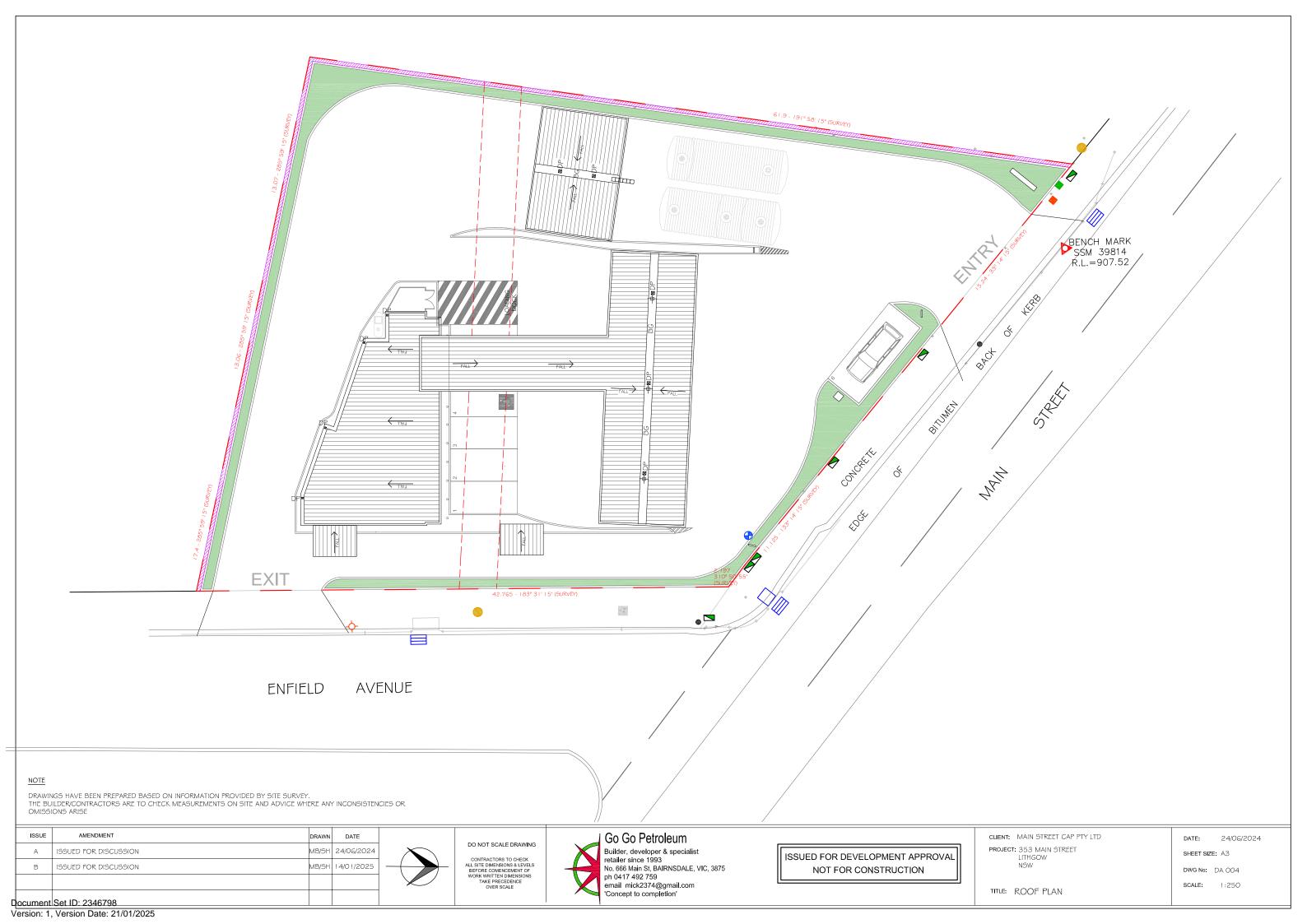
24/06/2024 DATE: SHEET SIZE: A3 DWG No: DA OO I

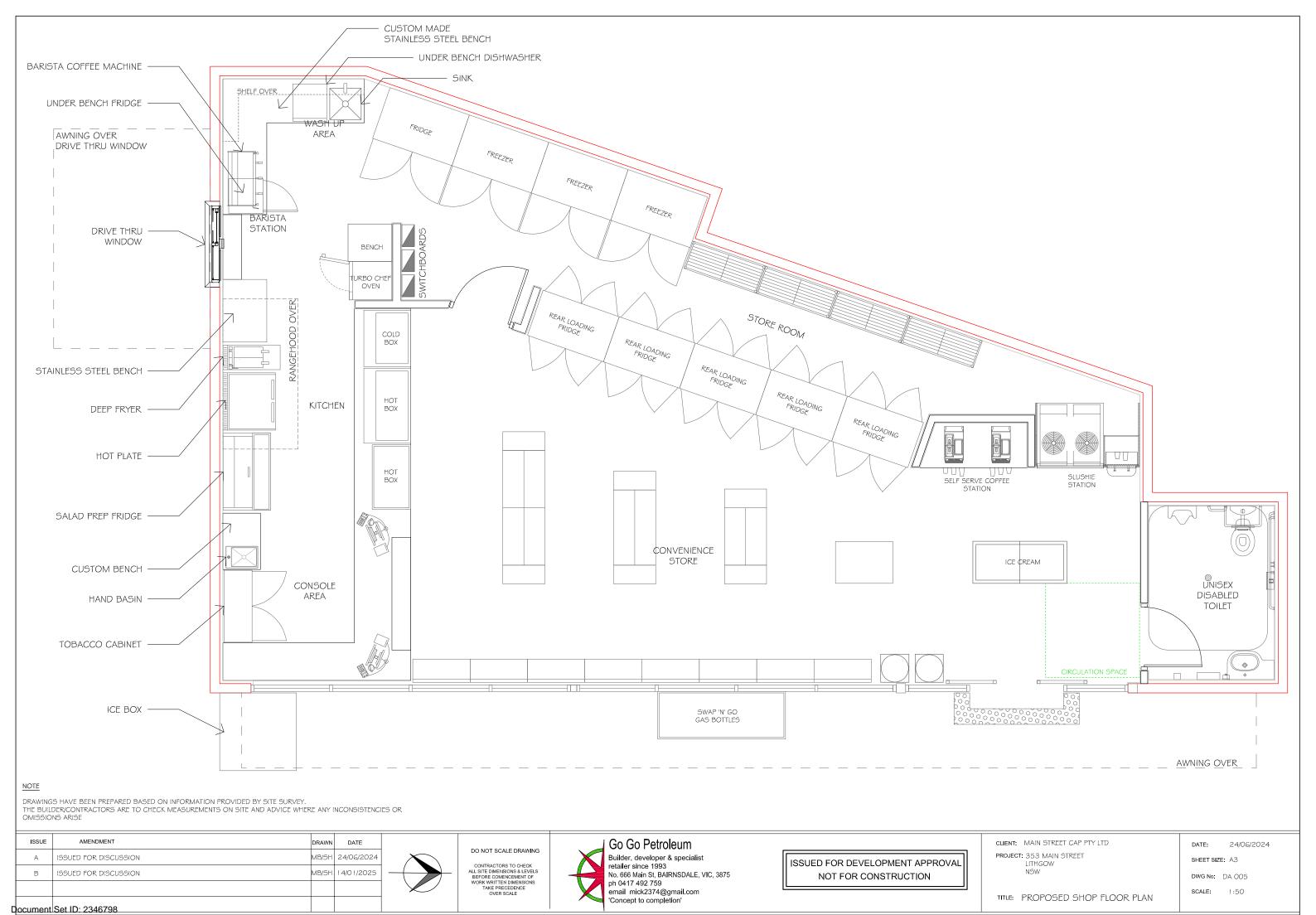
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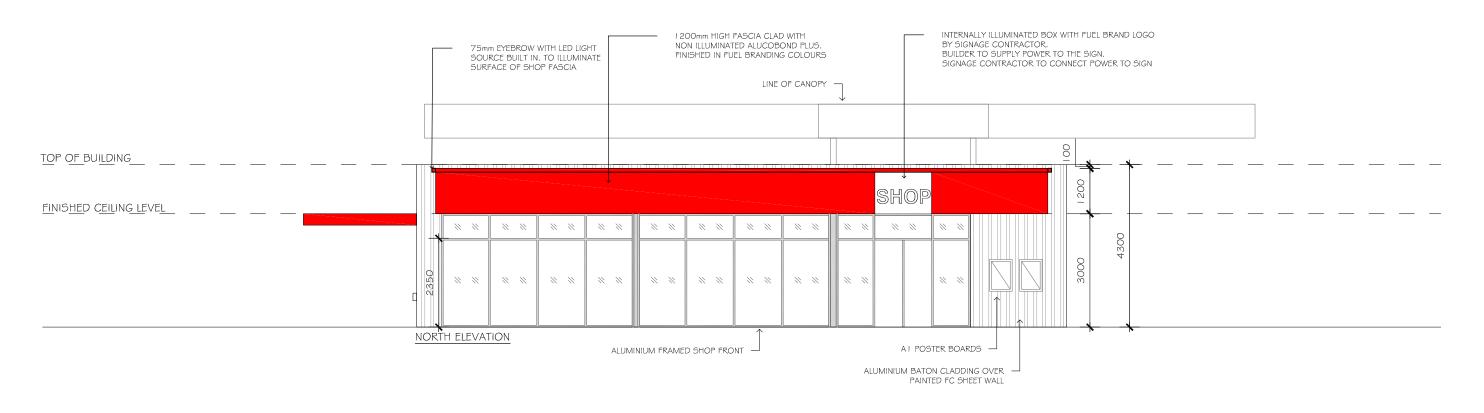
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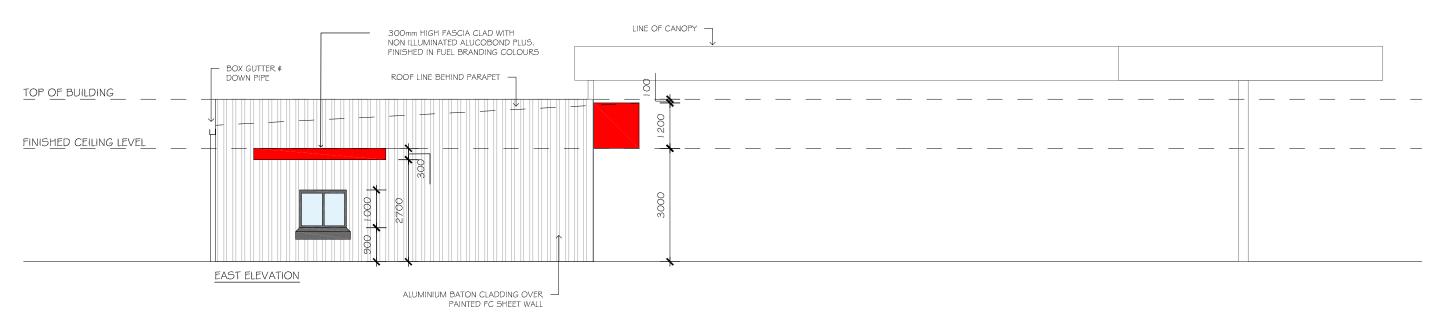












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THE BUILDER/CONTRACTORS ARE TO CHECK MEASUREMENTS ON SITE AND ADVICE WHERE ANY INCONSISTENCIES OR OMISSIONS ARISE

ISS	UE	AMENDMENT	DRAWN	DATE	
А		ISSUED FOR DISCUSSION	MB/SH	24/06/2024	
В		ISSUED FOR DISCUSSION	мв/ѕн	14/01/2025	-
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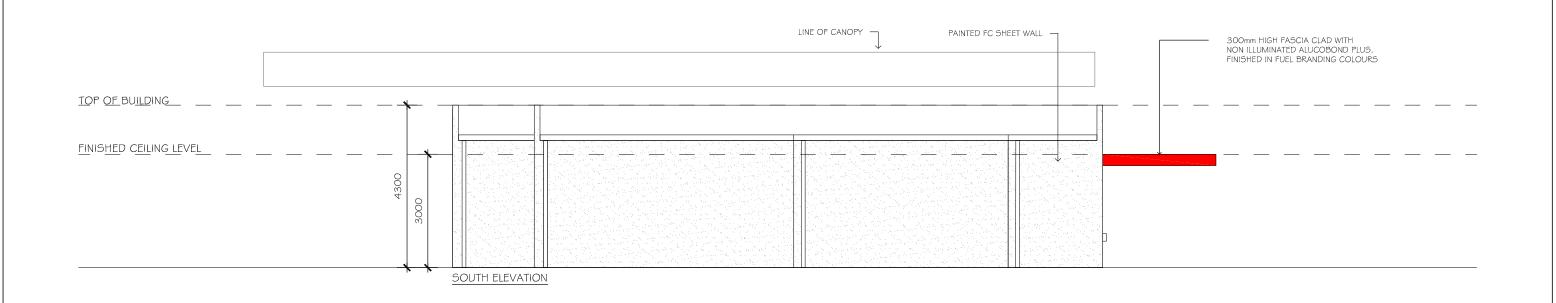
CLIENT: MAIN STREET CAP PTY LTD

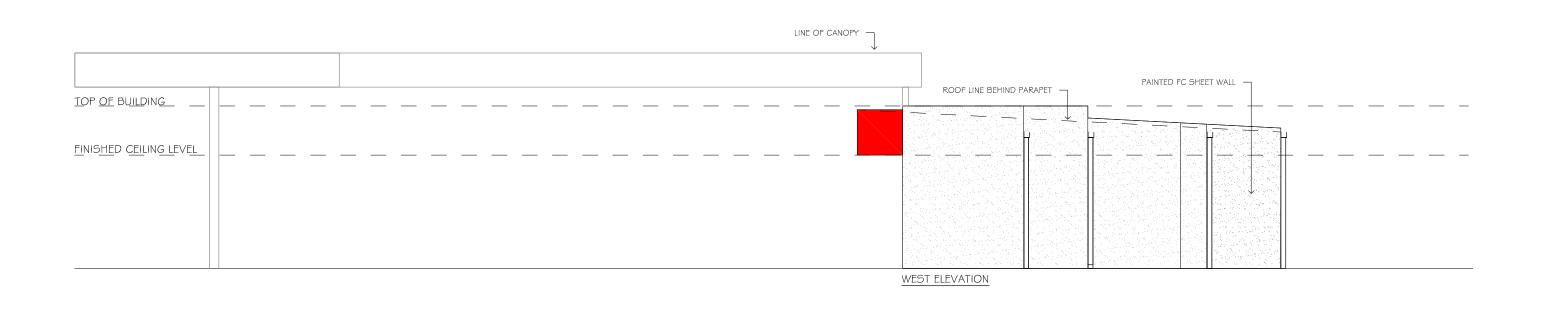
PROJECT: 353 MAIN STREET LITHGOW NSW

TITLE: PROPOSED SHOP ELEVATIONS

24/06/2024 DATE: SHEET SIZE: A3

DWG No: DA 006 SCALE: 1:100





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OMISSIONS ARISE

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	ISSUE	AMENDMENT	DRAWN	DATE	
	А	ISSUED FOR DISCUSSION	мв/9н	24/06/2024	
	В	ISSUED FOR DISCUSSION	мв/ѕн	14/01/2025	
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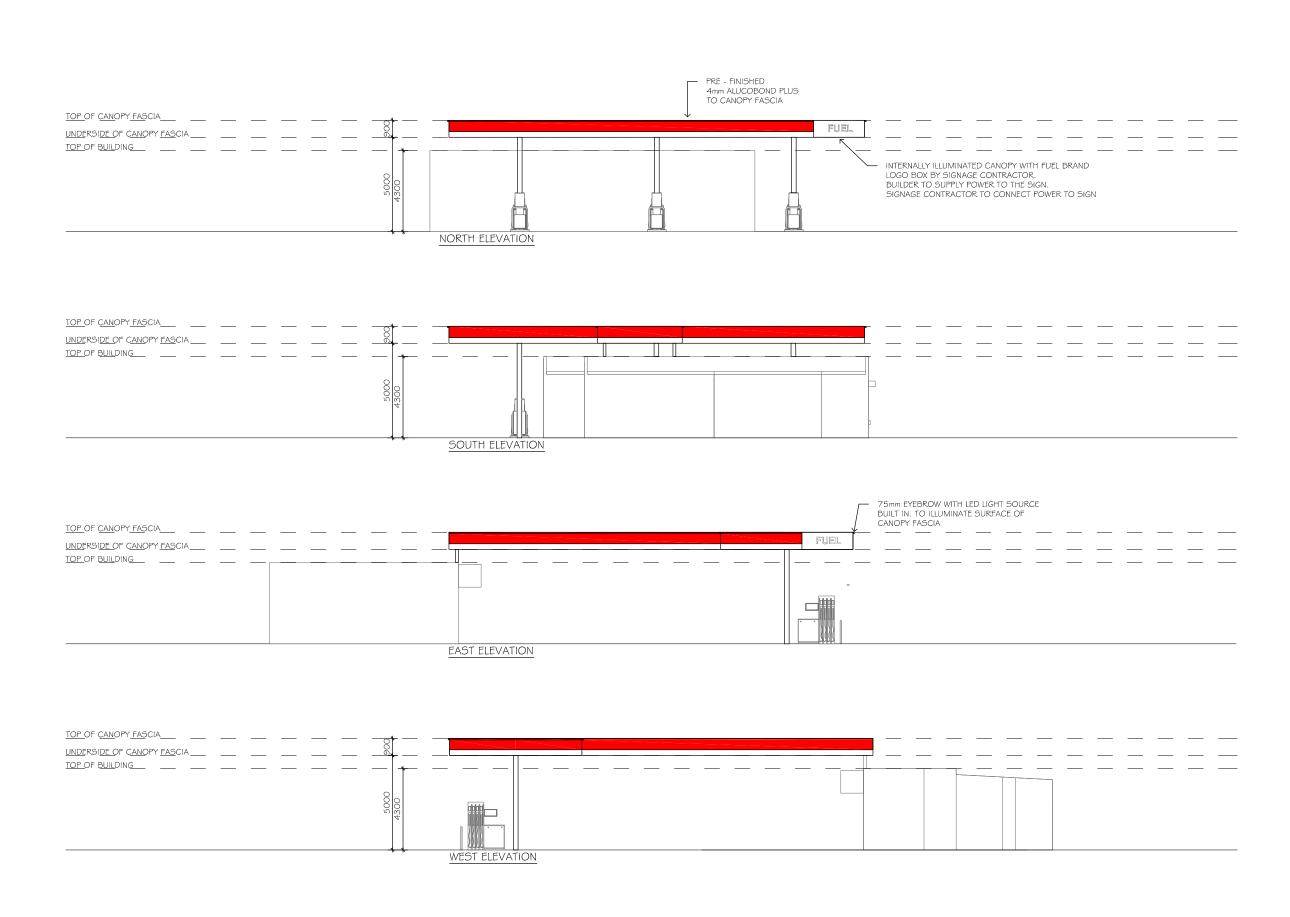
ISSUED FOR DEVELOPMENT APPROVAL NOT FOR CONSTRUCTION

CLIENT: MAIN STREET CAP PTY LTD PROJECT: 353 MAIN STREET LITHGOW NSW

DATE: 24/06/2024 SHEET SIZE: A3 DWG No: DA 007

SCALE: 1:100 TITLE: PROPOSED SHOP ELEVATIONS

Document Set ID: 2346798 Version: 1, Version Date: 21/01/2025



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ISSUE	AMENDMENT	DRAWN	DATE	
А	ISSUED FOR DISCUSSION	мв/ѕн	24/06/2024	
В	ISSUED FOR DISCUSSION	мв/ѕн	14/01/2025	
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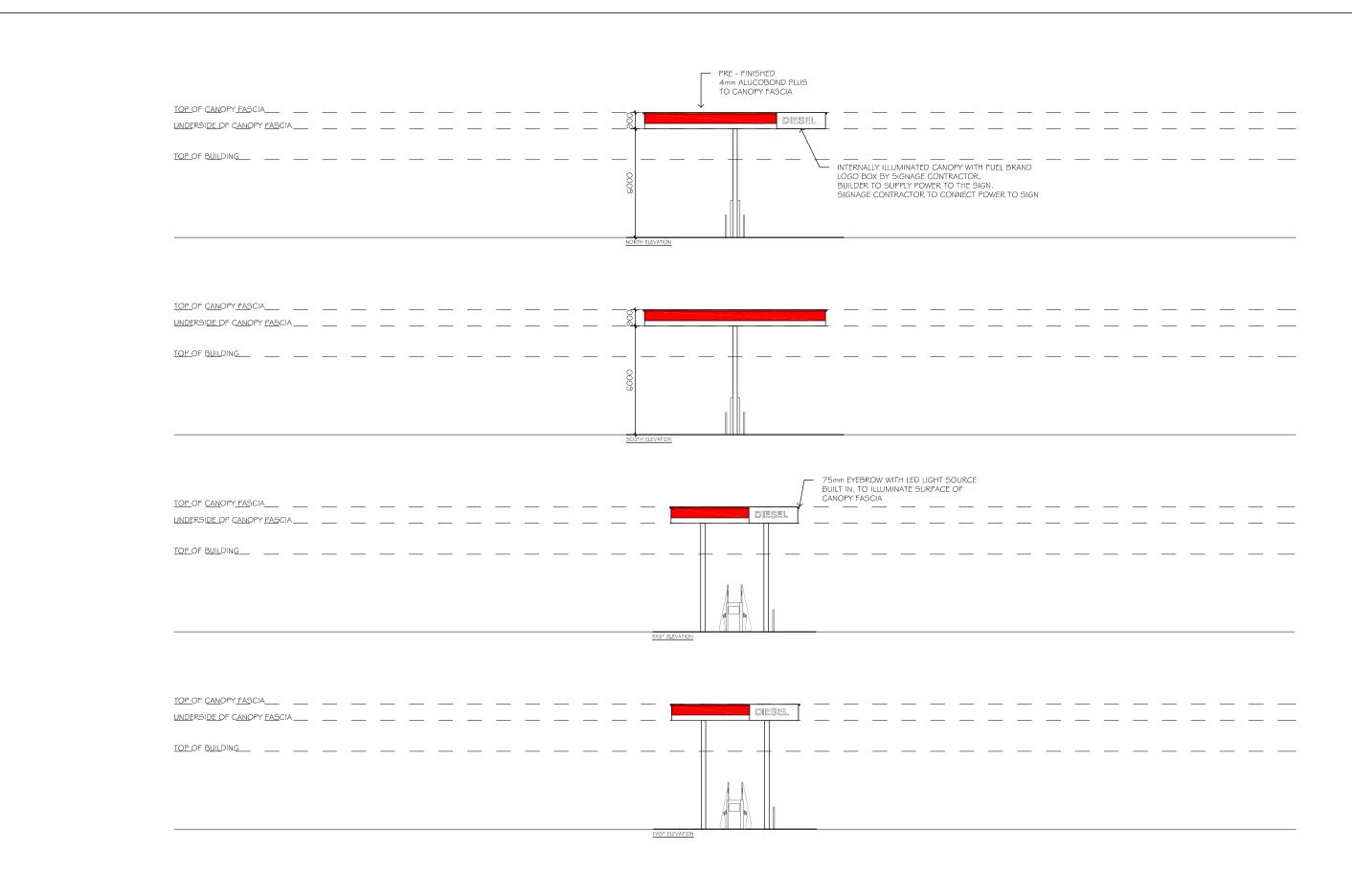
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CLIENT: MAIN STREET CAP PTY LTD PROJECT: 353 MAIN STREET LITHGOW NSW

TITLE: PROPOSED FUEL CANOPY ELEVATIONS

DATE: 24/06/2024 SHEET SIZE: A3

DWG No: DA 008 SCALE: 1:200



NOTE

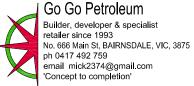
DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY SITE SURVEY.
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OMISSIONS ARISE

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	ISSUE	AMENDMENT	DRAWN	DATE	
	Α	ISSUED FOR DISCUSSION	мв/ѕн	24/06/2024	
	В	ISSUED FOR DISCUSSION	мв/ѕн	14/01/2025	
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DO NOT SCALE DRAWING

CONTRACTORS TO CHECK
ALL SITE DIMENSIONS & LEVELS
BEFORE COMENCEMENT OF
WORK WRITTEN DIMENSIONS
TAKE PRECEDENCE
OVER SCALE



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CLIENT: MAIN STREET CAP PTY LTD

PROJECT: 353 MAIN STREET
LITHGOW
NSW

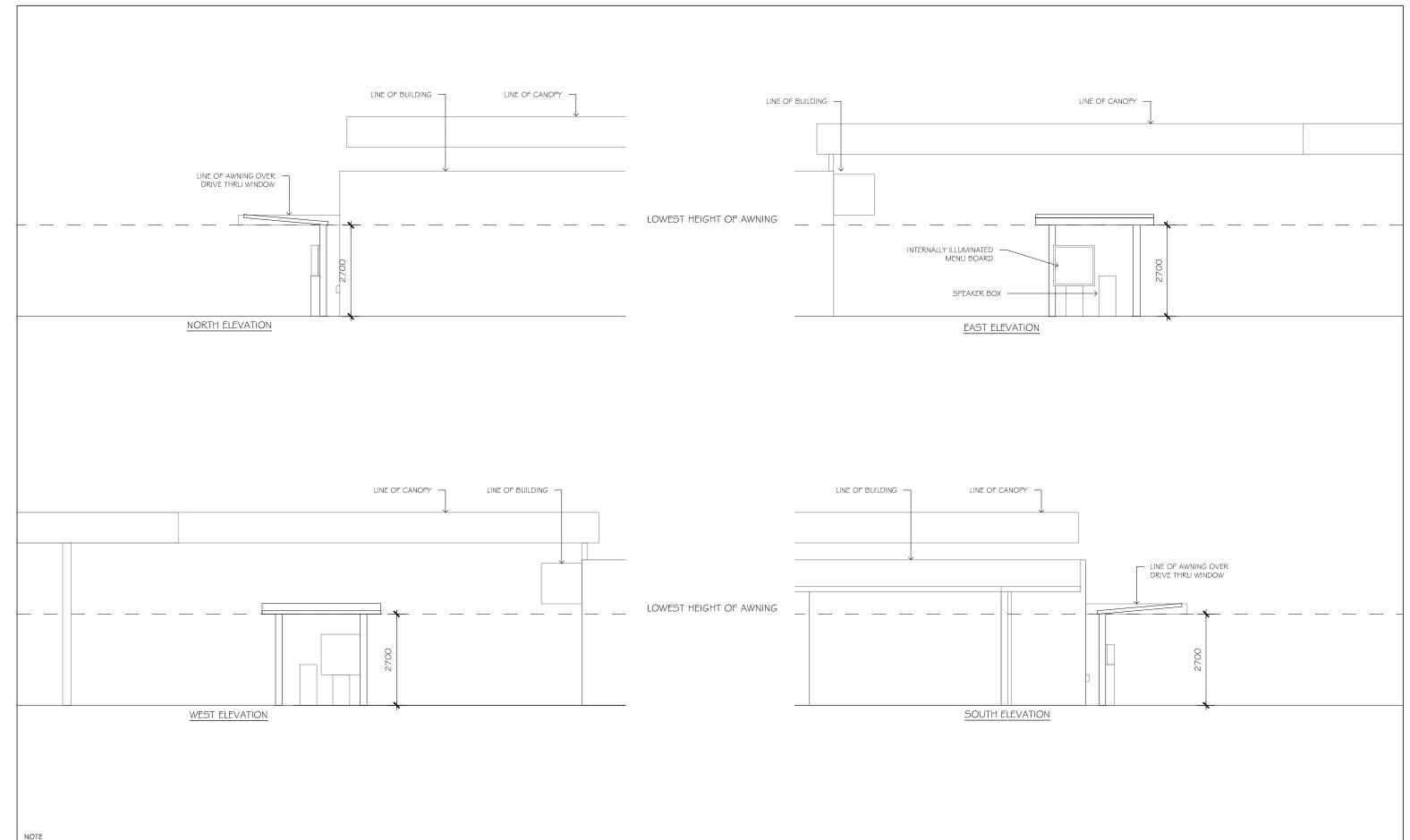
PROPOSED DIESEL CAN

DATE: 24/06/2024 SHEET SIZE: A3

DWG No: DA 009

SCALE: 1:200

TITLE: PROPOSED DIESEL CANOPY ELEVATIONS



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	ISSUE	AMENDMENT	DRAWN	DATE	
	Α	ISSUED FOR DISCUSSION	MB/SH	24/06/2024	
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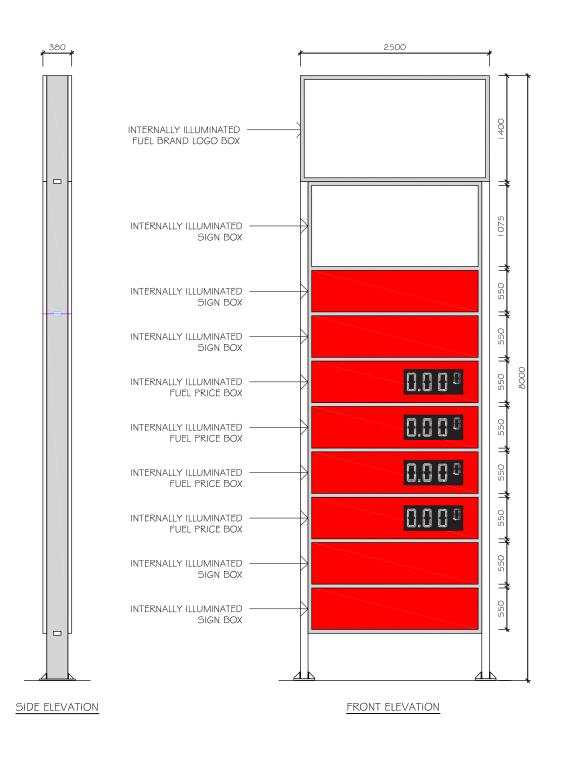
ISSUED FOR DEVELOPMENT APPROVAL NOT FOR CONSTRUCTION

CLIENT: MAIN STREET CAP PTY LTD PROJECT: 353 MAIN STREET LITHGOW NSW

TITLE: PROPOSED DRIVE THRU AWNING ELEVATIONS

DATE: 24/06/2024 SHEET SIZE: A3 DWG No: DA O I O

SCALE: 1:100



ISSUE	AMENDMENT	DRAWN	DATE	
Α	ISSUED FOR DISCUSSION	мв/Sн	24/06/2024	
В	ISSUED FOR DISCUSSION	мв/ѕн	14/01/2025	-

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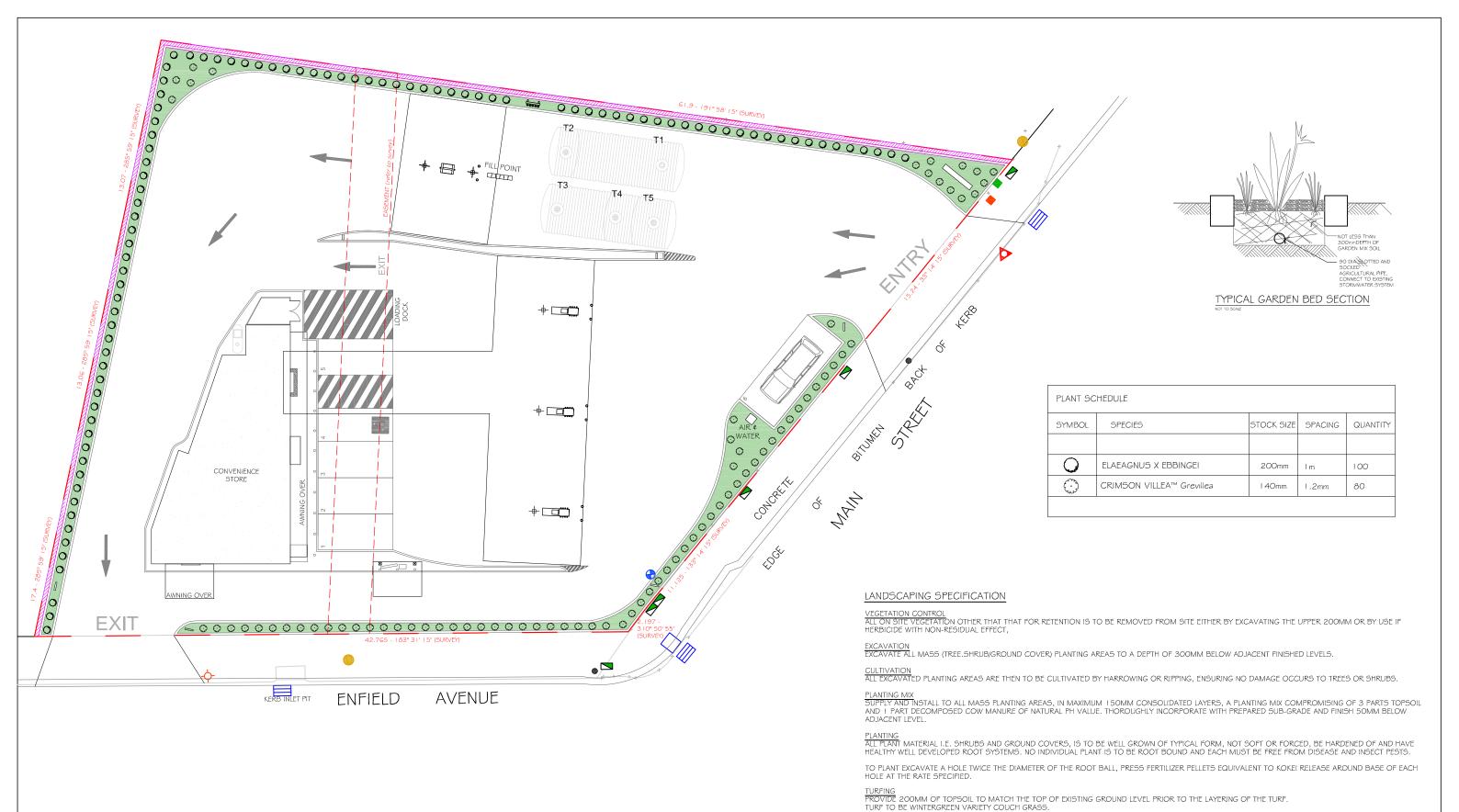
ISSUED FOR DEVELOPMENT APPROVAL NOT FOR CONSTRUCTION

CLIENT: MAIN STREET CAP PTY LTD PROJECT: 353 MAIN STREET LITHGOW NSW

TITLE: PROPOSED SALES BOARD DETAILS

24/06/2024 DATE: SHEET SIZE: A3

DWG No: DA O I I SCALE: 1:50



NOTE

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ISSUE	AMENDMENT	DRAWN	DATE		
А	ISSUED FOR DISCUSSION	мв/ѕн	14/01/2025		
В	ISSUED FOR DISCUSSION	мв/ѕн	14/01/2025	-	
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DO NOT SCALE DRAWING

CONTRACTORS TO CHECK ALL SITE DIMENSIONS & LEVELS BEFORE COMENCEMENT OF WORK WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE Builder, developer & specialist retailer since 1993
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Go Go Petroleum Builder, developer & specialist retailer since 1993 ISSUED FOR DEVELOPMENT APPROVAL

WEEDING FERTILIZING

REPLACEMENT OF ANY FAILED PLANTS
RECTIFICATION OF ANY SOIL SUBSIDENCE

NOT FOR CONSTRUCTION

CLIENT: MAIN STREET CAP PTY LTD

PROJECT: 353 MAIN STREET

LITHGOW

NSW

MULCHING ALL PLANTING AREAS ARE TO BE MULCHED WITH A MINIMUM I DOMM DEEP LAYER OF LOCAL RIVER SHINGLE SPALLS (ROCK CHIPS).

THE FOLLOWING MATTERS ARE TO BE ATTENDED TO FOR A PERIOD OF 13 WEEKS
- WATERING

TITLE: LANDSCAPE PLAN

DATE: 24/06/2024
SHEET SIZE: A3

DWG No: DA 012 SCALE: 1:250

