

**1** Site Plan  
01 1:250

- Reduced Levels (RLs) shown are of Datum Heights with an Assumed Bench Mark RL of 10.00

### Site Calculations

| Area Summary                    |          | m <sup>2</sup> |
|---------------------------------|----------|----------------|
| Existing dwelling.....          | =        | 100.00         |
| Existing Shed.....              | =        | 16.00          |
| Proposed Shed.....              | =        | 128.00         |
| <b>Total Site Coverage.....</b> | <b>=</b> | <b>244.00</b>  |
| Site Area.....                  | =        | 1,189.00       |
| % Total Site Coverage.....      | =        | 20.52%         |
| Landscaped Area.....            | =        | 945.00         |
| % Landscaped Area.....          | =        | 79.48%         |

- Landscaping -
- ① Crepe Myrtle - (Red & Pink)
  - ② Gardens & hedges consisting of Rododendrons, nandinas & annual perennials.

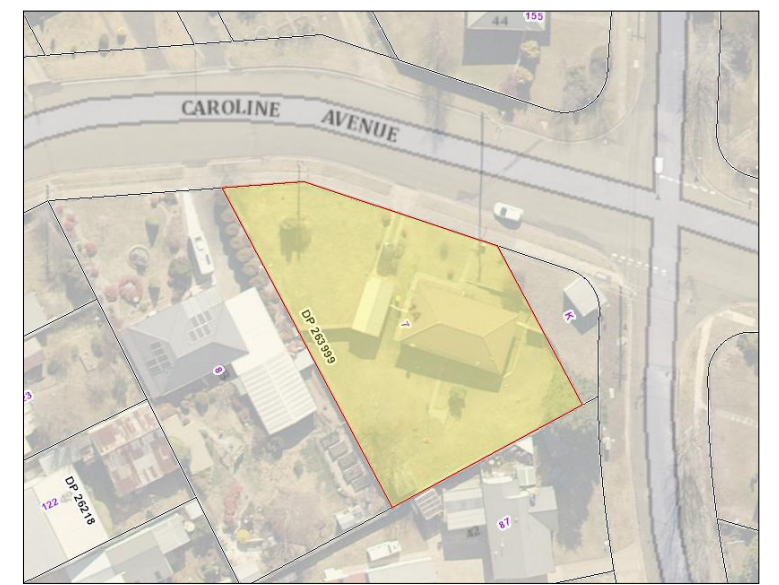
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### Sediment Control Notes

- All erosion and sediment control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the Soil Conservation of N.S.W. and inspected daily by the site manager.
- All drainage works shall be constructed and stabilized as early as possible during development.
- Sediment traps shall be constructed around all inlet pits, consisting of a 300mm wide x 300mm deep trench.
- All sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of soil materials, including the maintenance period.
- All disturbed areas shall be revegetated as soon as the relevant works are completed.
- Soil and top soil stockpiles shall be located away from drainage lines and area where water may concentrate. All roads and footpaths are to be swept daily.
- Filter shall be constructed by stretching a filter fabric ('Propex' or approved equivalent), between posts at 2.0m centres. Fabric shall be buried 200mm along it's lower edge.
- Dust prevention measures are to be maintained at all times.

**Sediment Control Fence**  
Not to Scale

Provide sediment control fencing on all down hill slopes - unless noted otherwise.



**2** Locality Map  
01 n.t.s.

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**Proposed:** Detached Steel Framed Shed  
**Client:** Phillip Peace  
**Address:** 1A Caroline Avenue, Bowenfels, NSW, 2790  
 Lot 7 / DP263999  
**Council:** LITHGOW CITY COUNCIL

| Revision |  | Date | Drawn:  | WR            | Sheet:        |
|----------|--|------|---------|---------------|---------------|
|          |  |      | Date:   | November 2023 | 1<br>of:<br>5 |
|          |  |      | Scale:  | 1:250 @ A3    |               |
|          |  |      | Job No: | 231101        |               |

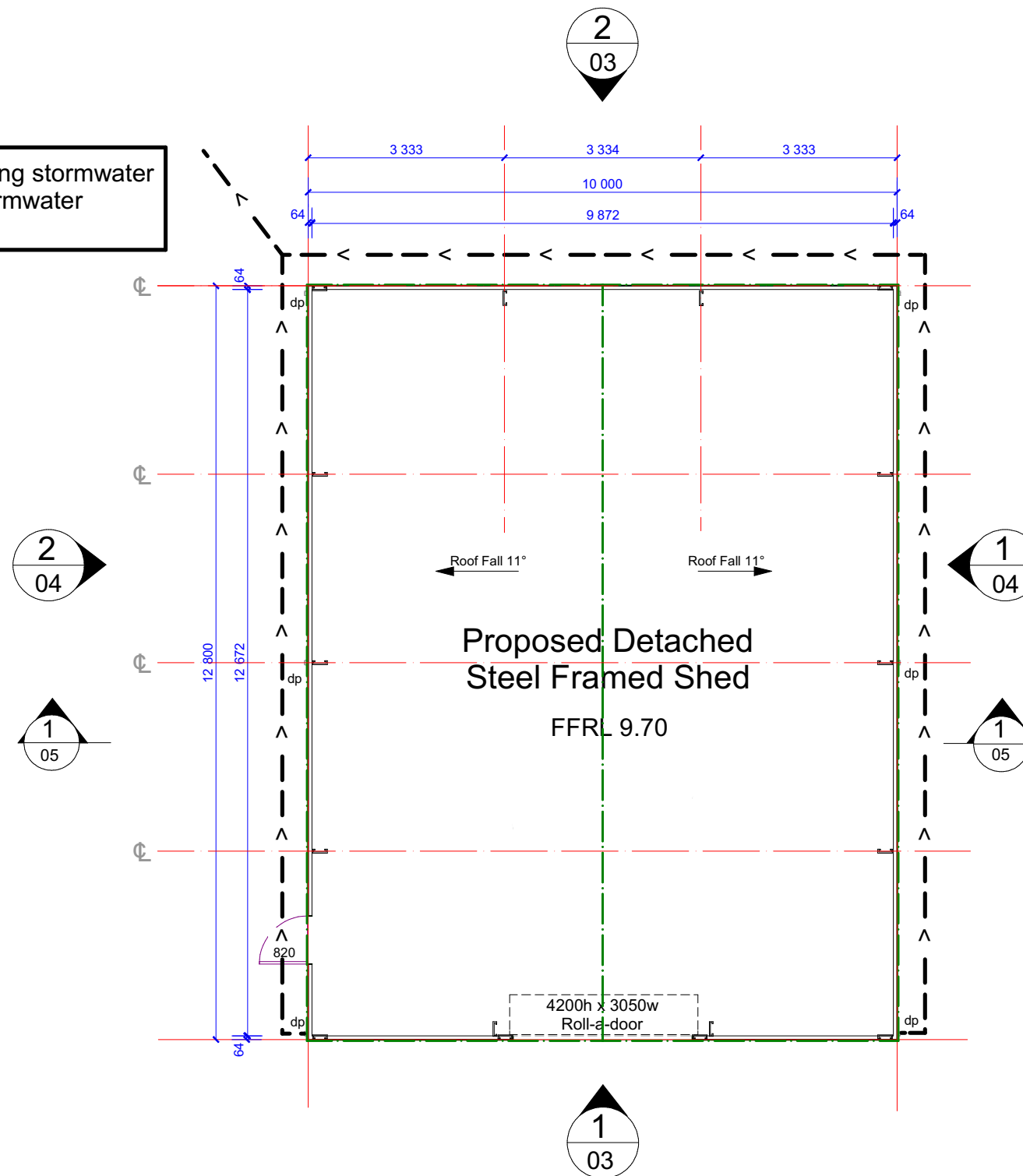
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Provide down pipes as shown and connect to existing stormwater drainage line via 90mm dia. PVC pipe. Existing stormwater drainage overflow is to street.



**1**  
02 **Floor Plan**  
1:100

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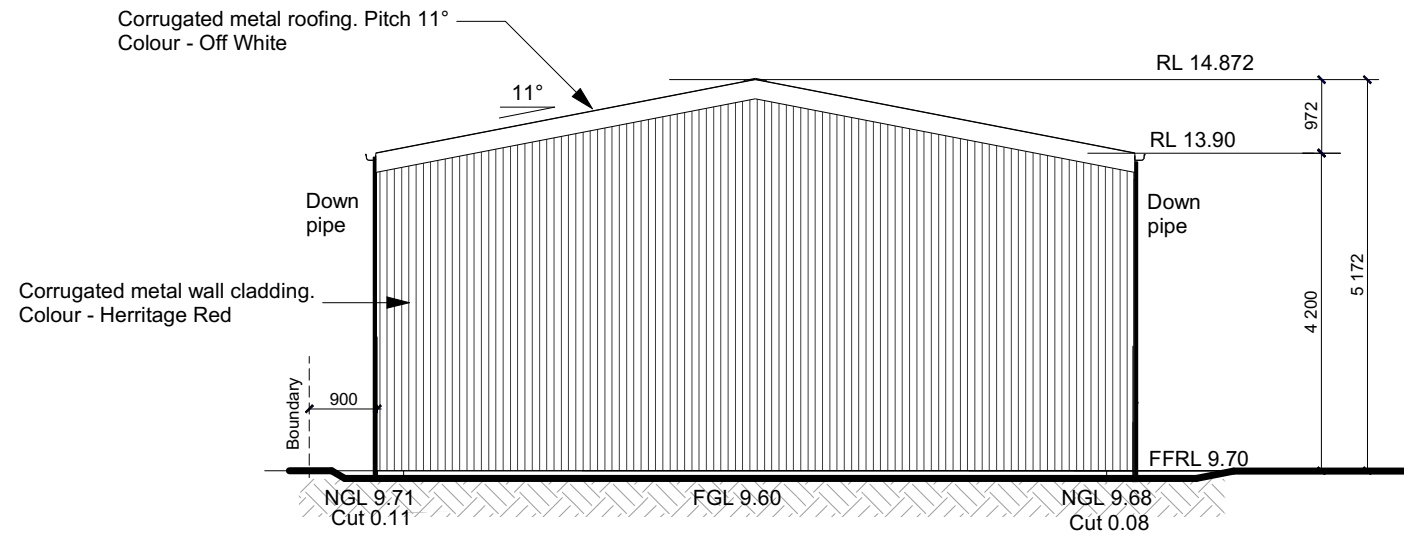
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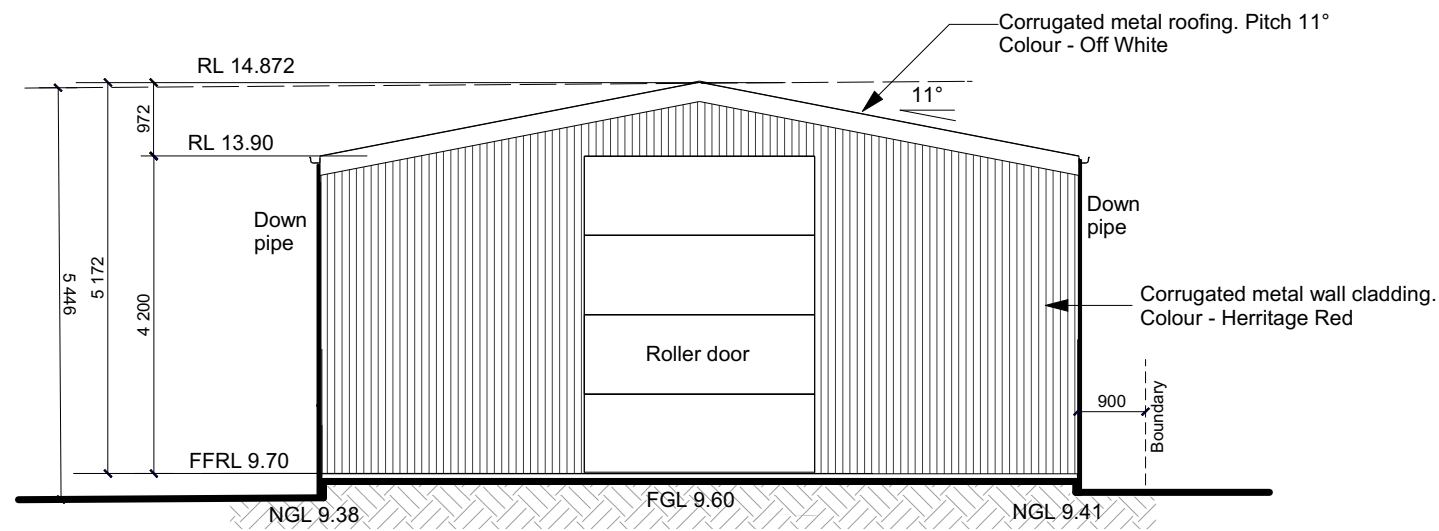
**Plan:** Floor Plan

| Revision | Date | Drawn:  | WR            | Sheet:       |
|----------|------|---------|---------------|--------------|
|          |      | Date:   | November 2023 | 2<br>of<br>5 |
|          |      | Scale:  | 1:100 @ A3    |              |
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**2** South East Elevation  
03 1:100



**1** North West Elevation  
03 1:100

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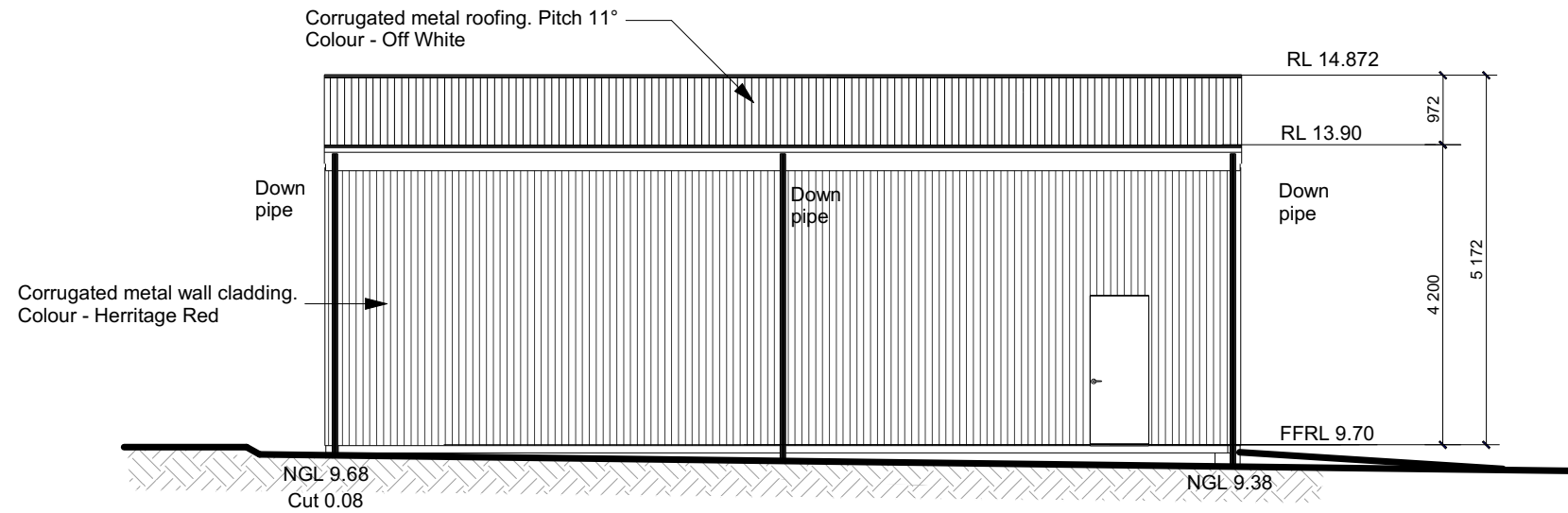
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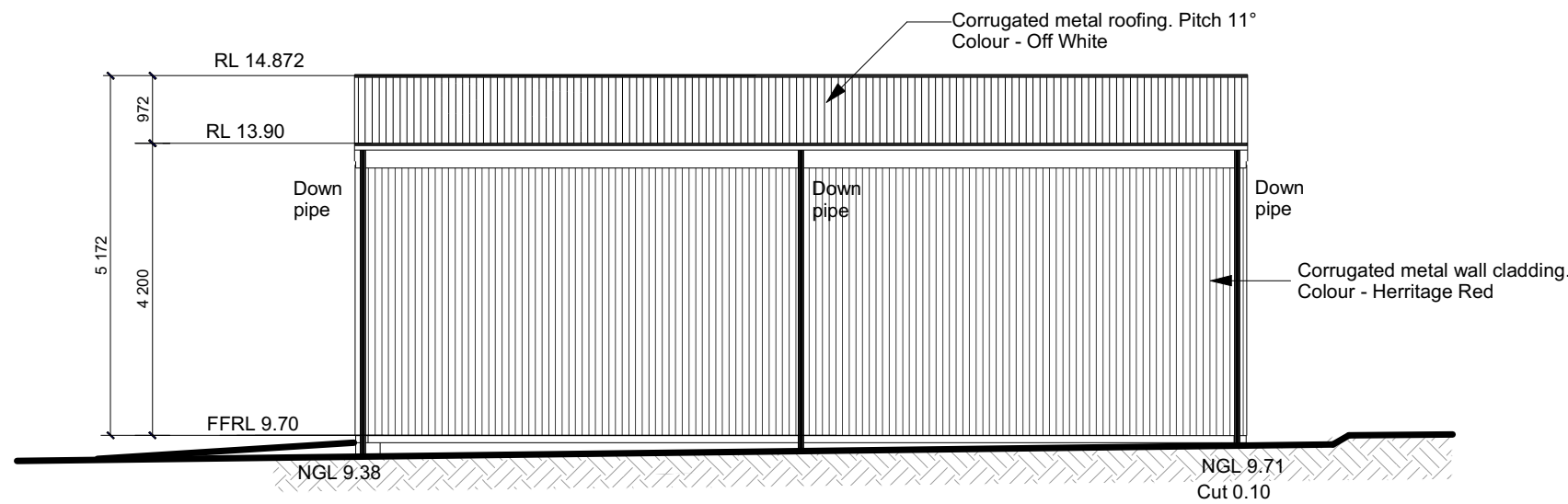
**Plan:** Elevations

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|          |      | Date:   | November 2023 | 3<br>of:<br>5 |
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**2** North East Elevation  
04 1:100



**1** South West Elevation  
04 1:100

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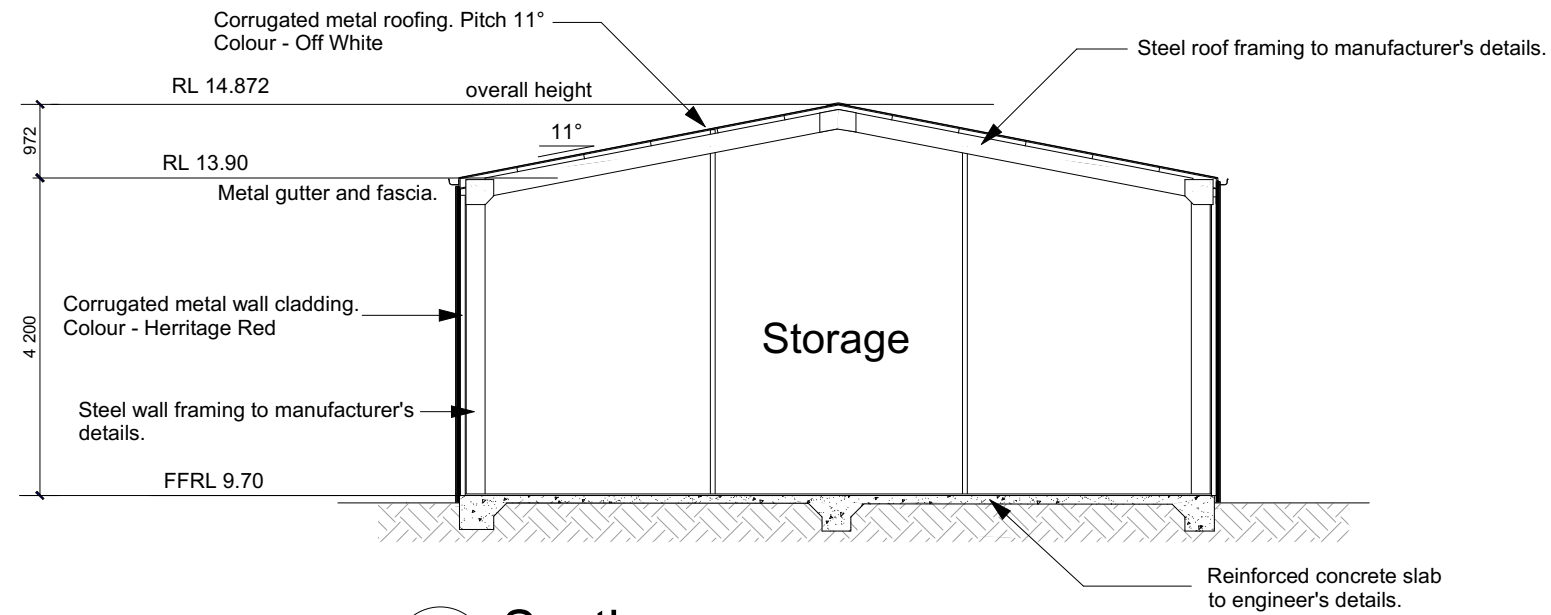
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**Plan:** Elevations

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**1** Section  
05 1:100

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All works to be completed in accordance with the performance requirements of the National Construction Code (NCC) 2022 Volume 2

Detached Portal Frame Sheds

**Part H1 Structure (dealt with in Engineering)**

- H1P1 Structural reliability and resistance
- H1P2 Buildings in flood areas
- H1D2 Structural provisions
- H1D3 Site preparation
- H1D4 Footings and slabs
- H1D6 Framing
- H1D7 Roof and wall cladding
- H1D8 Glazing
- H1D9 Earthquake areas
- H1D10 Flood hazard areas
- H1D11 Attachment of framed decks and balconies to external walls of buildings using a waling plate
- H1D12 Piled footings

**Part H2 Damp and weatherproofing (dealt with in Engineering)**

- H2P1 Rainwater management
- H2P2 Weatherproofing
- H2P4 Drainage from swimming pools
- H2D2 Drainage

**Part H3 Fire safety (dealt with in Engineering)**

- H3D1 Deemed-to-Satisfy Provisions
- H3D2 Fire hazard properties and non-combustible building elements
- H3D3 Fire separation of external walls

**Part H4 Health and amenity**

- H4P1 Wet areas
- H4P2 Room heights

**Part H5 Safe movement and access**

- H5P1 Movement to and within a building

**Part H7 Ancillary provisions and additional construction requirements (dealt with in Engineering)**


- H7P1 Swimming pool access
- H7P2 Swimming pool reticulation systems
- H7P5 Buildings in bushfire prone areas

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\*If any uncontained fill is required on site, Class 'P' is applicable.



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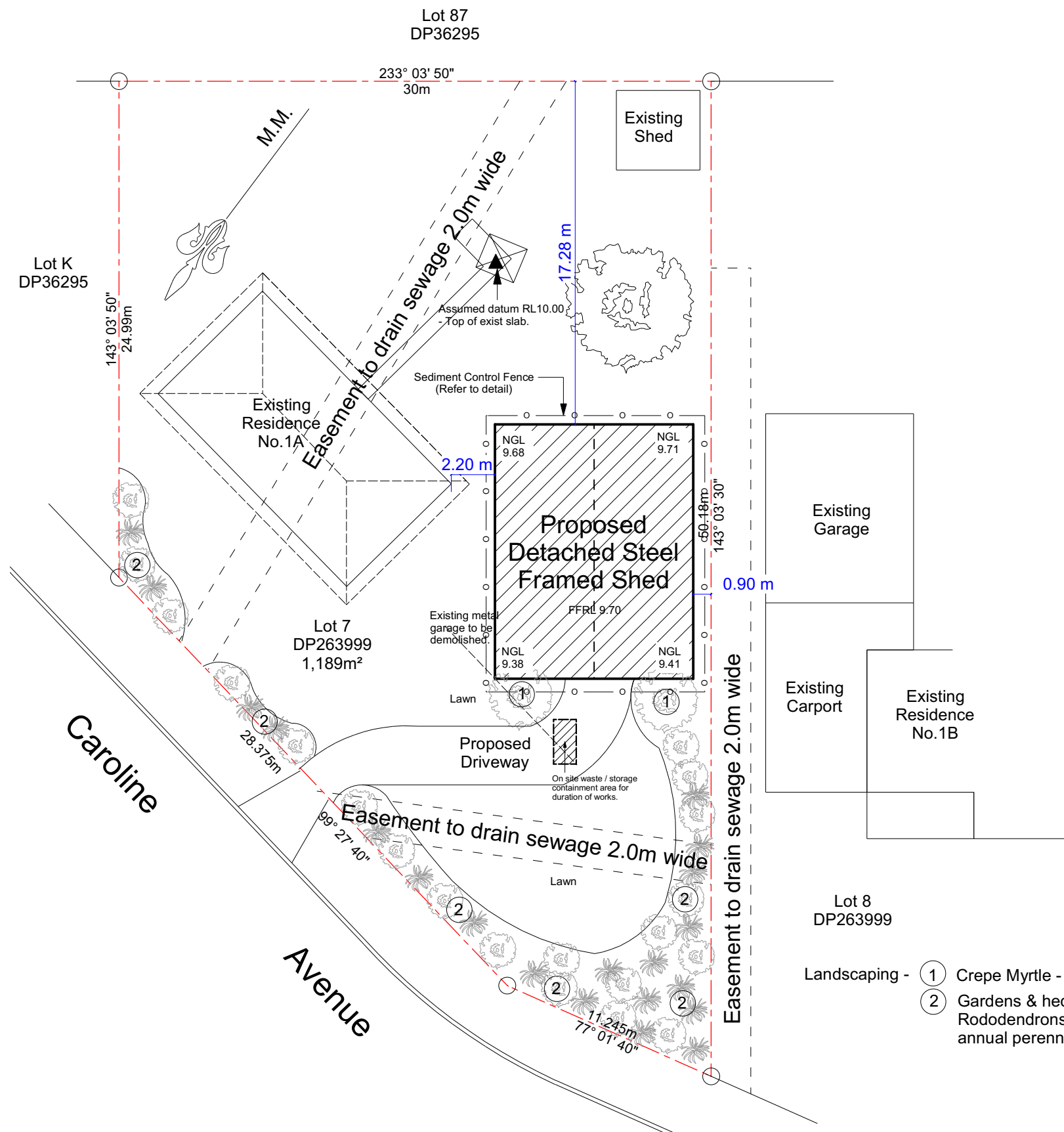
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**Plan:** Section

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**Plan:** Landscape Plan

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