

PROPOSED ADDITIONS & ALTERATIONS

31 MALVERN STREET, LITHGOW
TOM EVANGELIDIS



Aerial Photo
Source: Landchecker

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Revision Number	Revision Date	Revision Description
1	12/07/24	DA ISSUE
2	15/11/24	DA REVISED

Revision Schedule



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File Ref: 20231062	Approved for Construction:
Scale:	
Date: 12/04/24	

PROPOSED ADDITIONS & ALTERATIONS
31 MALVERN STREET,
LITHGOW, NSW 2790

COVER PAGE

TOM EVANGELIDIS

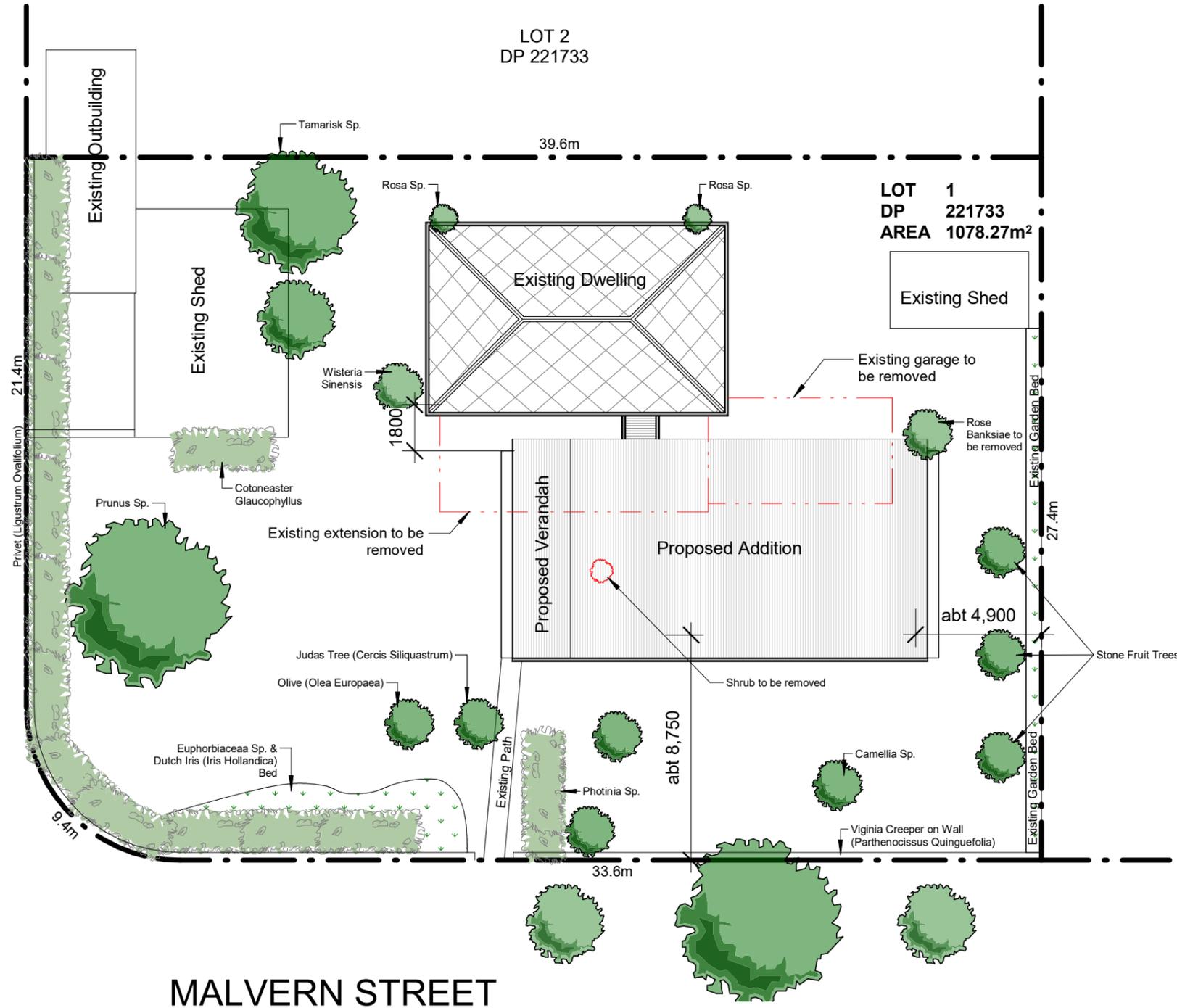
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Project. No.	20231062
DWG. No.	Issue:
A01	2



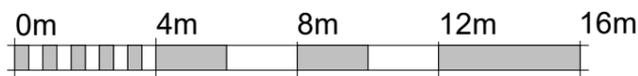
MALVERN STREET



MALVERN STREET

Proposed Site Plan

1 : 200



VISUAL SCALE 1:200 @ A3

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1	12/07/24	DA ISSUE
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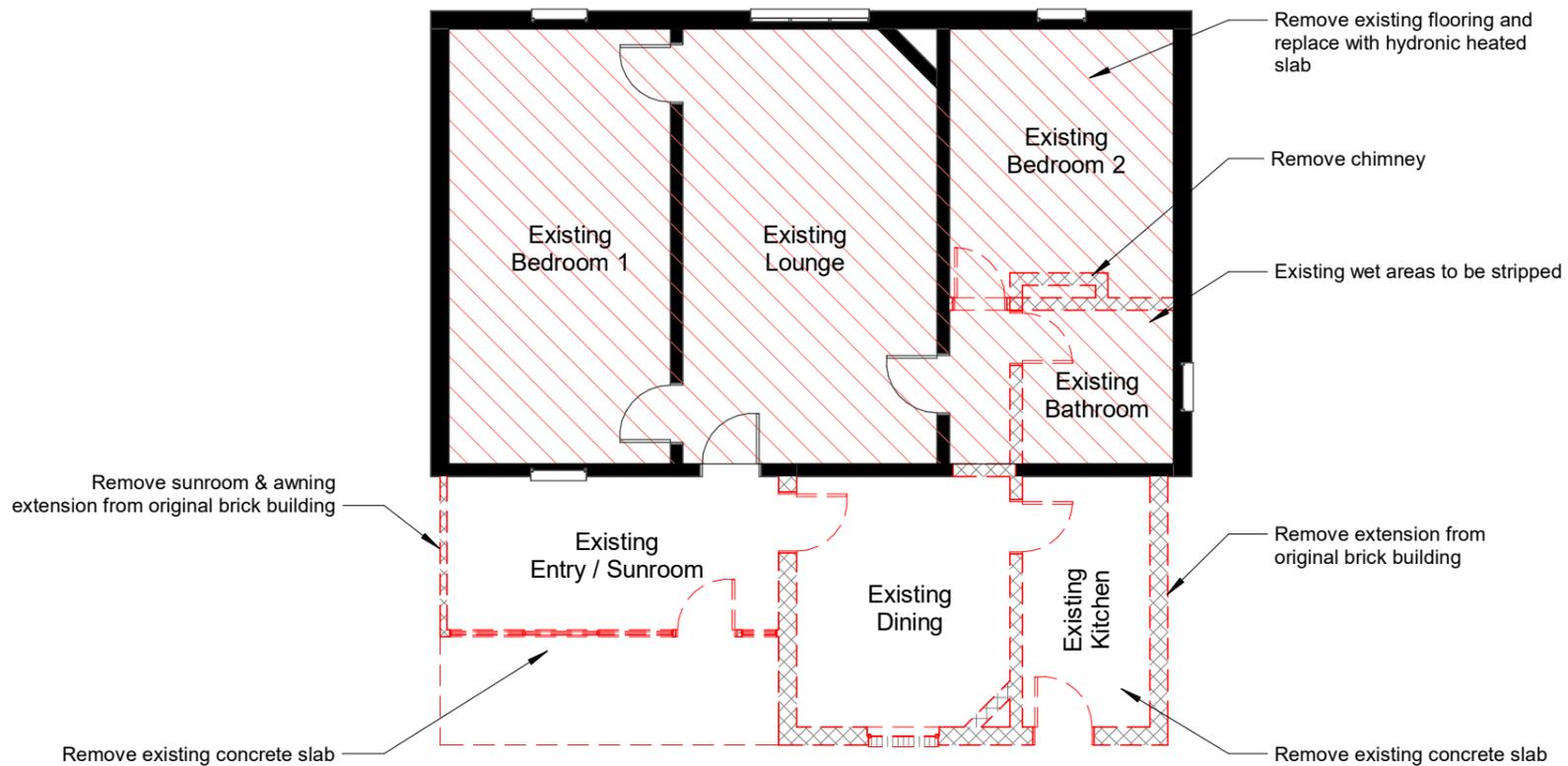
PROPOSED SITE PLAN

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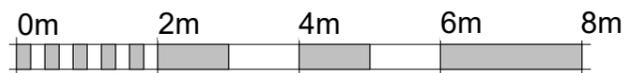
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Project No.	20231062
DWG. No.	A02
Issue:	2



Existing Floor Plan & Demolition Plan

1 : 100



VISUAL SCALE 1:100 @ A3

LEGEND:

Walls to be removed

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1	12/07/24	DA ISSUE
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DEMOLITION PLAN

TOM EVANGELIDIS



Project. No.	20231062
DWG. No.	Issue:
A03	2

General Notes:

- New slab for proposed building and within existing building to have hydronic floor heating (not including garage & alfresco).
- Flooring species must be suitable for hydronic flooring.
- Verify all dimensions on site prior to construction.

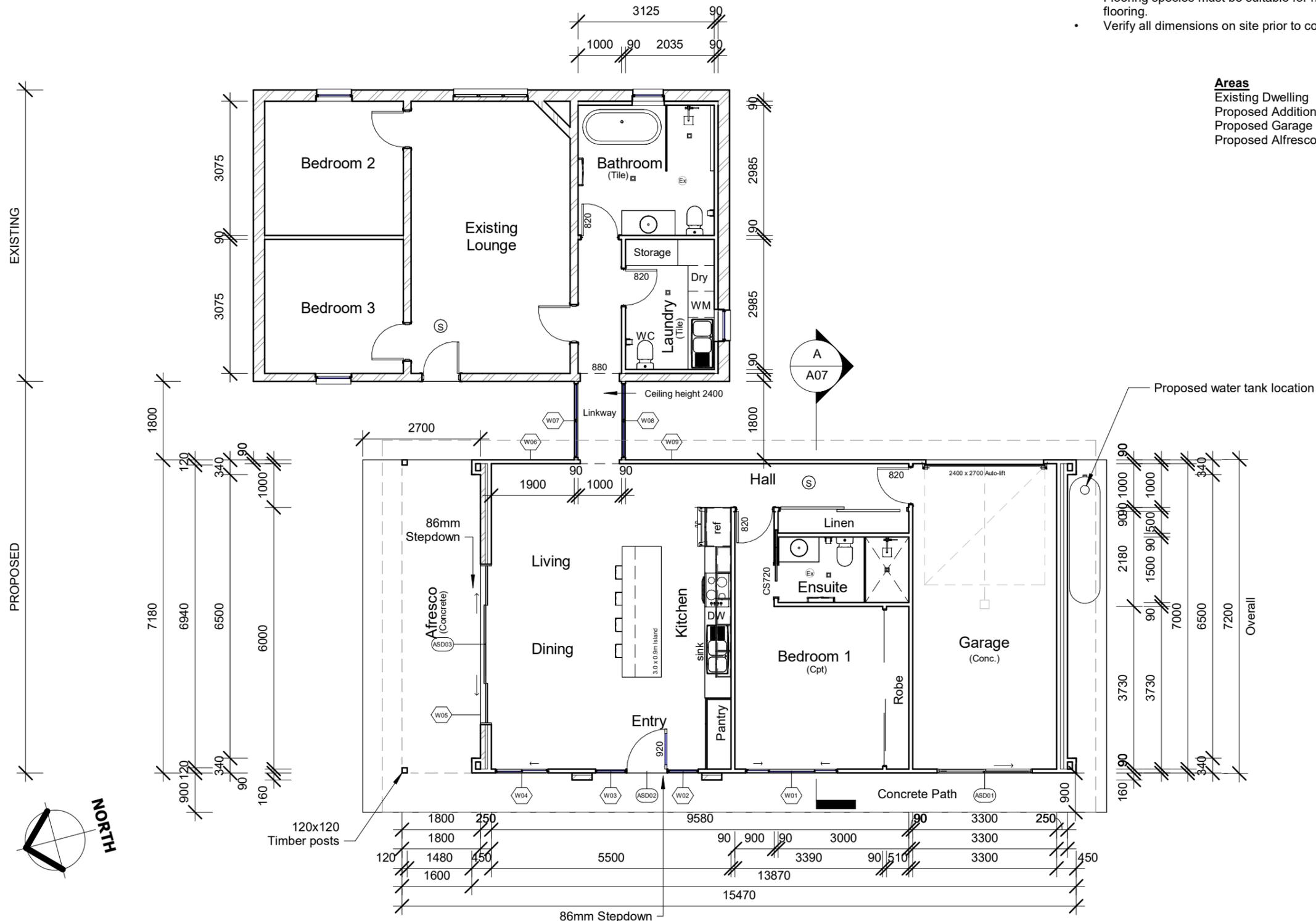
Legend:

WC	Toilet
REF.	Refrigerator
S	Sink
DW	Dishwasher
WO	Wall oven
MW	Microwave
Shr	Shower
SL	Sliding window
DH	Double Hung window
SD	Sliding door
AW	Awning window
FXD	Fixed window

Areas

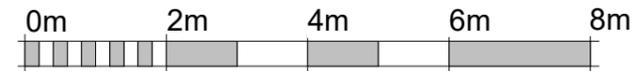
Existing Dwelling	74m ²
Proposed Addition	73m ²
Proposed Garage	26m ²
Proposed Alfresco	13m ²

- Ⓢ Smoke detector. Hard wired in accordance with Part 3.7.5 of the NCC & AS3795. Interconnect all alarms.
- Ⓜ Exhaust fan. in accordance with Part 3.8.7.3 of the NCC



Proposed Ground Floor

1 : 100



VISUAL SCALE 1:100 @ A3

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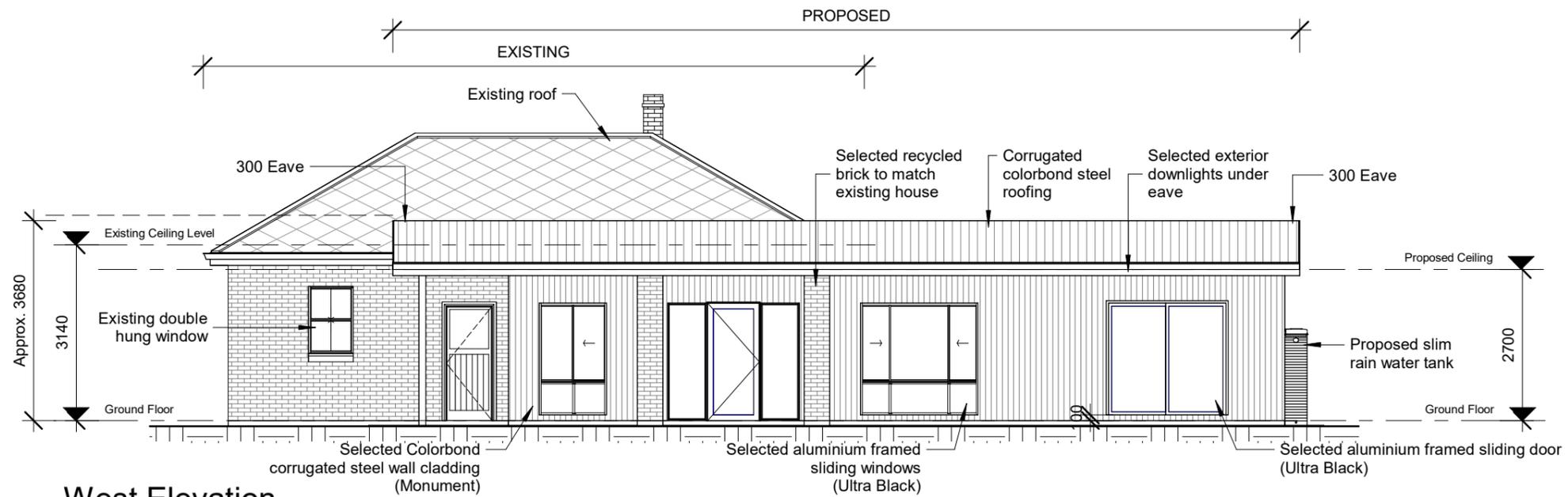
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BUILDING LAYOUT
 TOM EVANGELIDIS

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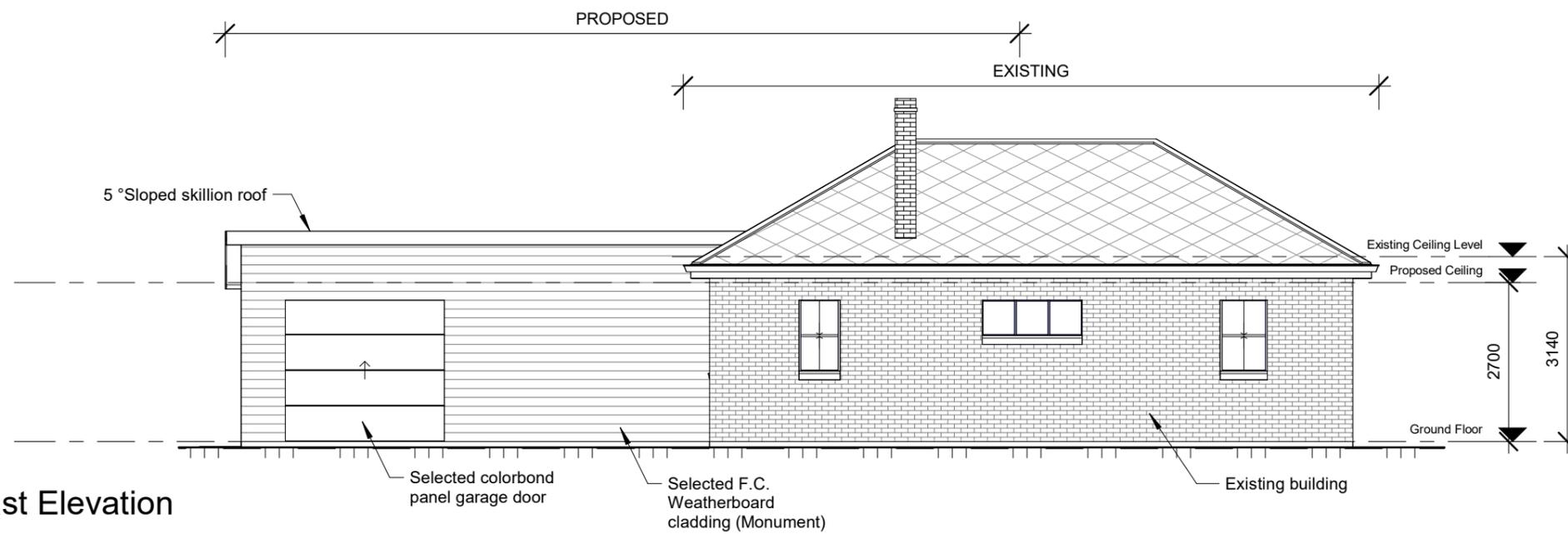
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Project. No.	20231062
DWG. No.	A04
Issue:	2



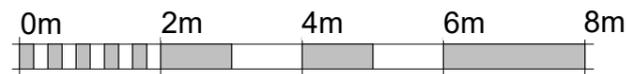
West Elevation

1 : 100



East Elevation

1 : 100



VISUAL SCALE 1:100 @ A3

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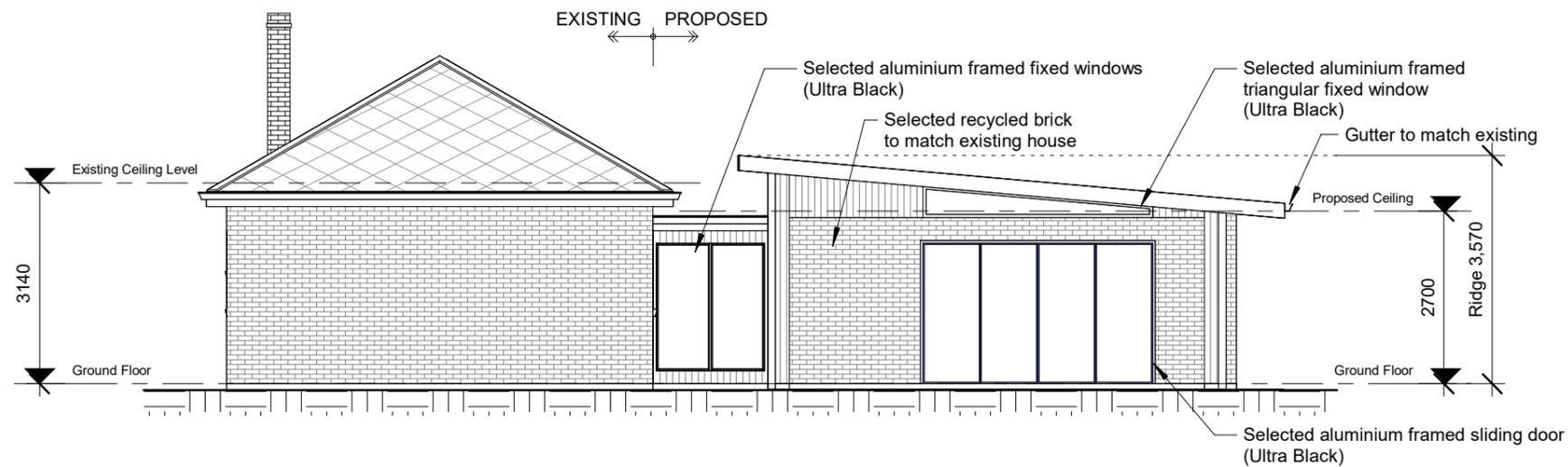
PROPOSED ADDITIONS & ALTERATIONS
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BUILDING ELEVATIONS

TOM EVANGELIDIS

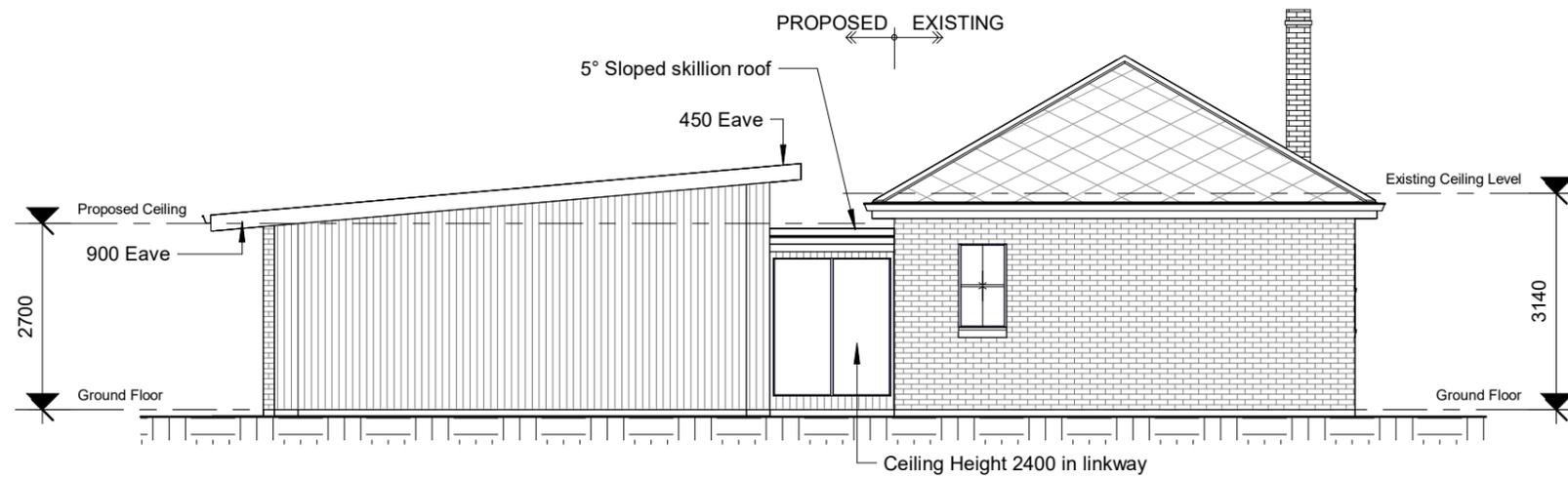


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DWG. No.	A05	Issue: 2



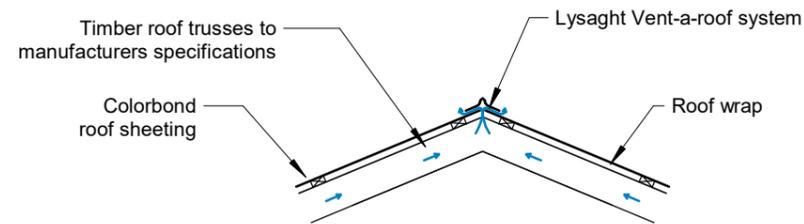
North Elevation

1 : 100

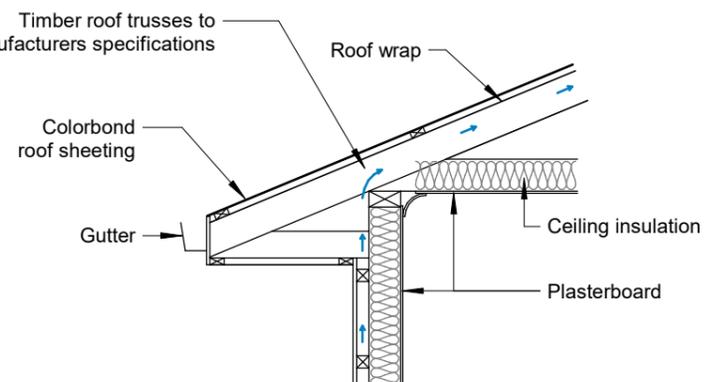


South Elevation

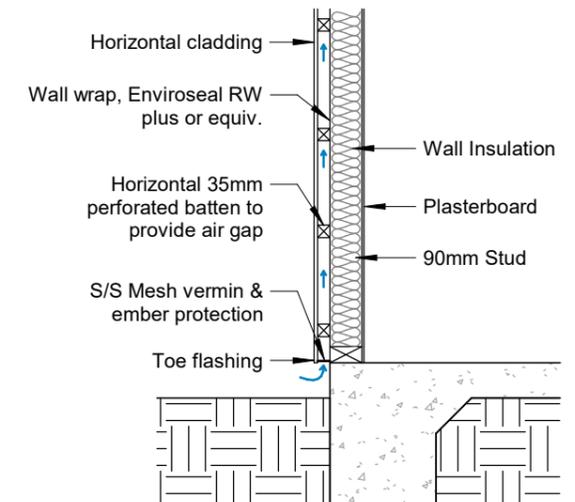
1 : 100



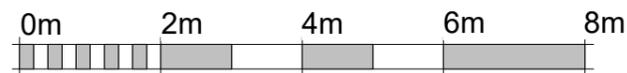
Roof Ridge Detail



Wall Top Detail



Wall Bottom Detail



VISUAL SCALE 1:100 @ A3

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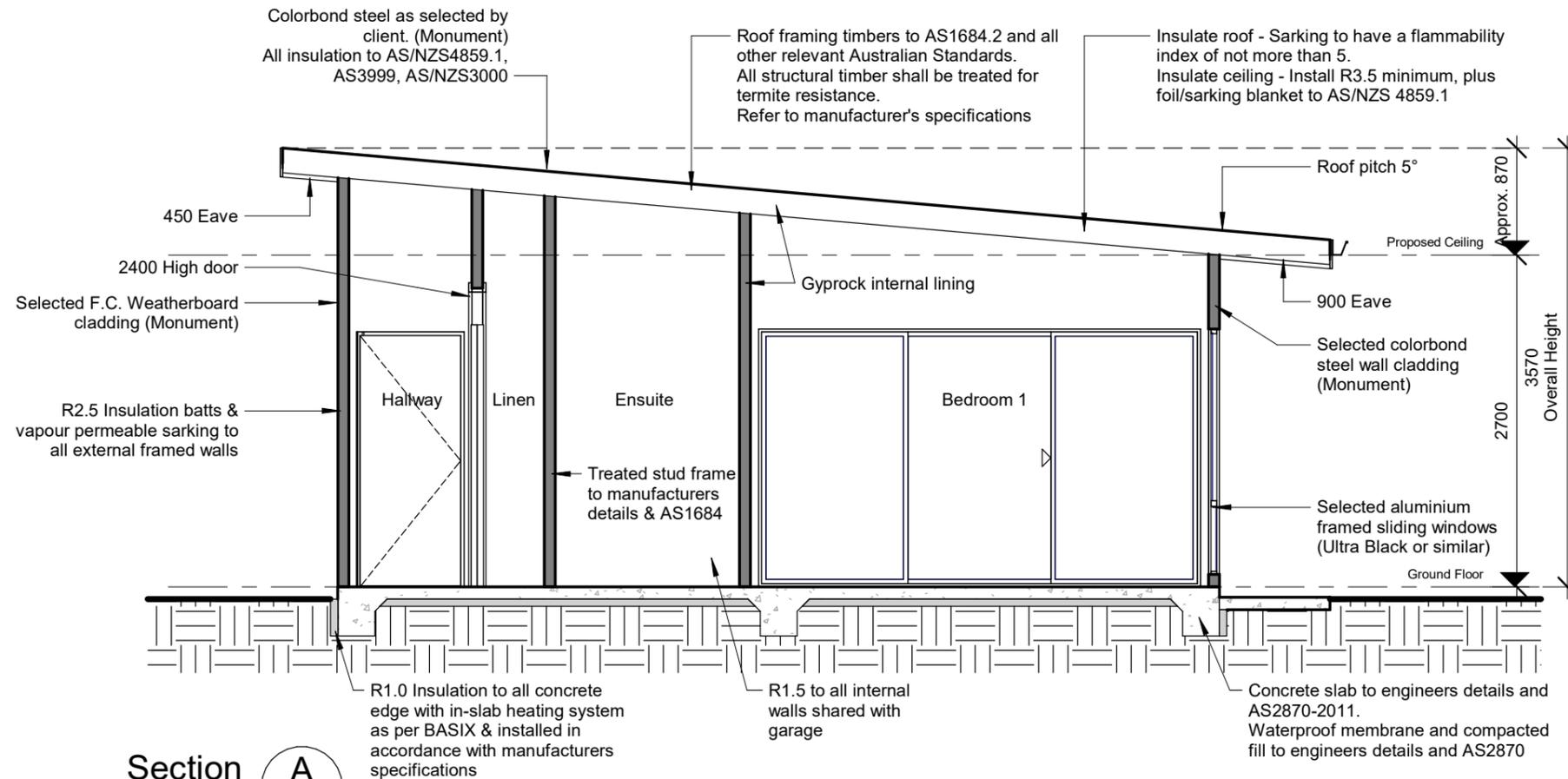
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Project. No.
20231062

DWG. No. Issue:
A06 2



Section A
1 : 50
04

BASIX REQUIREMENTS	
PROJECT DETAILS	
Project Name	Proposed Alterations 31 Malvern St
Address	31 Malvern Street, LITHGOW NSW 2790
Town or Suburb	LITHGOW, NSW 2790
Local Government Area	Lithgow City Council
PROJECT DESCRIPTION	
Project Type	Dwelling House (attached)
Number of Bedrooms	3
COMMITMENTS	
Artificial Lighting:	40% of new or altered lights to be fitted with fluorescent, compact fluorescent or LED lamps
FIXTURES	
Shower head rating	3 Star (>7.5 but ≤9L/minute)
Toilet flushing system	3 Star
Kitchen taps rating	3 Star
Bathroom taps rating	3 Star
Toilets	3 Star
INSULATION	
Additional insulation required to be installed	Minimum
Floor - concrete slab	N/A
External Walls - Cladding	R1.8 up to R2.2 NCC Part 3.12.1.1 & vapour permeable sarking
External Walls - Brick	R1.66 up to R2.2 NCC Part 3.12.1.1 & vapour permeable sarking
Ceiling and roof - Flat ceiling / pitched roof	R3.5 Up to NCC Part 3.12.1.1, sarking under roof
Roof solar absorptance	High
Internal wall shared with Garage	R1.14 up to R1.5 NCC Part 3.12.1.1 & vapour permeable sarking
Windows and glazed doors - SEE TABLE	

Window Schedule				
Mark	Height	Width	Window Style	Glazing
W01	2000	2100	Sliding	Double Glazed
W02	2100	700	Fixed	Double Glazed
W03	2100	700	Fixed	Double Glazed
W04	2000	1200	Sliding	Double Glazed
W05	500	3600	Fixed (Tri)	Double Glazed
W06	600	1500	Fixed	Double Glazed
W07	2000	1700	Fixed	Toned Double Glazed
W08	2000	1700	Fixed	Toned Double Glazed
W09	600	1500	Fixed	Double Glazed

Door Schedule			
Mark	Height	Width	Glazing
ASD01	2000	2100	Double Glazed
ASD02	2100	920	Double Glazed
ASD03	2200	3600	Double Glazed

Note: All glazing is the minimum as per BASIX certificate. Glazing can be substituted for the same SHGC & U-Values.

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SECTIONS
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Project No.
20231062

DWG. No. Issue:
A07 2

GENERAL NOTES

STATUTORY REQUIREMENTS:

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC 2022, CONDITIONS IMPOSED BY THE LOCAL AUTHORITY AND THE COMMITMENTS OUTLINED IN THE RELEVANT **BASIX CERTIFICATE** AND/OR **NATHER'S ASSESSMENT**.

IN NOTATION NCC REFERS TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA 2022 VOLUME 2, NCC VOLUME 3 'PLUMBING CODE OF AUSTRALIA' & THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS STANDARD.

THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE BUILDING WORKS AND THE PROVISIONS OF THE HOME BUILDING ACT.

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT BE LIMITED TO THE NCC AND ALL RELEVANT CURRENT STANDARDS.

ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE NCC. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED IT MUST BE APPROVED PRIOR TO IMPLEMENTATION OR INSTALLATION BY THE RELEVANT AUTHORITY AND BUILDING SURVEYOR OR CERTIFIER.

SPECIFICATON:

DRAWINGS ARE PREPARED FROM INFORMATION SUPPLIED BY THE OWNER AND/OR BUILDER.

ALL DIMENSIONS ARE IN MILLMETRES UNLESS NOTED OTHERWISE AND SHALL BE VERIFIED ON SITE. **DO NOT SCALE FROM DRAWNG.**

ALL DIMENSIONS AND ALL FLOOR AND SITE LEVELS PROVIDED ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION.

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS & REPORT ALL DISCREPANCIES FOR CLARIFICATION.

IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE OFF DRAWINGS. ALL DIMENSIONS SHALL BE VERIFIED ON SITE. GROUND LEVELS SHOWN ARE PRELIMINARY ONLY AND REMAIN THE CONTRACTORS' RESPONSIBILITY.

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS, SPECIFICATIONS, GEOTECHNICAL REPORTS AND ALL OTHER CONSULTANTS' DRAWINGS, DETAILS AND COMPUTATIONS.

ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTICING STRUCTURAL ENGINEER.

ALL METAL FITTINGS USED IN STRUCTURAL TIMBER JOINTS AND BRACING MUST HAVE CORROSION PROTECTION.

ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE OWNERS.

VARIATIONS FROM THE SPECIFICATIONS AND DRAWINGS MUST NOT BE MADE WITHOUT THE APPROVAL OF THE OWNER OR OWNERS.

THE BUILDER SHALL ENSURE THE WATERTIGHTNESS AND GENERAL STABILITY OF THE STRUCTURE DURING WORKS.

ALL SURFACE WATER, SUBSOIL DRAINAGE AND STORMWATER DRAINAGE SHALL BE DRAINED AWAY FROM BUILDINGS.

ALL STORMWATER MUST BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. THE BUILDER AND SUBCONTRACTORS SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND OTHER SERVICES ARE LOCATED WITH SUFFICIENT DISTANCE FROM FOOTINGS AND SLAB EDGE SO AS TO PREVENT MOISTURE PENETRATION, DAMPNESS, WEAKENING OR UNDERMINING OF THE BUILDING OR FOOTINGS.

ROOF WATER TO BE CONNECTED TO EXISTING SYSTEM, UNLESS TANK SYSTEM ON RURAL PROPERTY.

NCC REFERS TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA - VOLUME 2 (NCC 2022).

ABCB REFERS TO AUSTRALIAN BUILDING CODES BOARD (ABCB).

NCC REQUIREMENTS:

NCC 2022 VOLUME 2 CLASS 1 & 10 BUILDINGS - SECTION H & SCHEDULE 5:

PART H1 STRUCTURE:

A CLASS 1 OR 10 BUILDING'S STRUCTURAL RELIABILITY & RESISTANCE SHALL COMPLY WITH **H1D1** OF THE NCC

A CLASS 1 OR CLASS 10 BUILDING MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2 (**PARTS 2.1 & 2.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS, OR THE RELEVANT PROVISIONS OF **H1D2, H1D3-H1D12** OF NCC FOR STRUCTURAL PROVISIONS OR ANY COMBINATION THEREOF.

ALL SITE PREPARATION & EARTHWORKS SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS AND **H1D3** OF NCC AND SECTION 3 (**PARTS 3.1-3.4**) & SECTION 4 (**PART 4.2.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ALL FOOTINGS & SLABS, EXCAVATIONS AND UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS AND **H1D4** AND **NSW H1D4(1)** AND **H2D3** OF NCC & SECTION 4 (**PARTS 4.1-4.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ALL MASONRY SHALL COMPLY WITH **H1D5** AND **H2D4** OF NCC & SECTION 5 (**PARTS 5.1-5.7**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS & **AS 3700** APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS.

TIMBER FRAMEWORK SHALL COMPLY WITH **H1D6** OF NCC, **AS1684** & SECTION 6 (**PARTS 6.1-6.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION AND **H1D6** OF NCC & SECTION 6 (**PARTS 6.1- 6.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ALL ROOF CLADDING & WALL CLADDING SHALL COMPLY WITH **H1D7** AND **H2D6** OF NCC & SECTION 7 (**PARTS 7.1-7.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

ALL GLAZING SHALL COMPLY WITH **H1D8** AND **H2D7** OF NCC & SECTION 8 (**PARTS 8.1-8.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

A CLASS 1 BUILDING CONSTRUCTED IN A FLOOD HAZARD AREA SHALL COMPLY WITH **H1D10** OF NCC & CONSTRUCTED IN ACCORDANCE WITH THE AUSTRALIAN BUILDING CODES BOARD (ABCB) STANDARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS.

ATTACHMENT OF FRAMED DECKS & BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE SHALL BE IN ACCORDANCE WITH **H1D11** OF NCC & SECTION 12 (**PART 12.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

PILED FOOTINGS TO BE IN ACCORDANCE WITH **H1D12** OF NCC & IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

PART H2 DAMP & WEATHERPROOFING:

RAINWATER MANAGEMENT, INCLUDING SURFACE WATER SHALL COMPLY WITH **H2D1** OF NCC.

WEATHERPROOFING OF A BUILDING SHALL COMPLY WITH PART **H2D1** OF NCC.

RISING DAMP SHALL COMPLY WITH PART **H2D3** OF NCC & PART **NSW H2P3**.

DRAINAGE SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH PART **H2D2** OF NCC & SECTION 3 (**PART 3.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH **H2D5** OF NCC & SECTION 5 (**PART 5.7**) & SECTION 6 (**PART 6.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

EXTERNAL WATERPROOFING FOR ROOFING SYSTEMS ON FLAT ROOFS, ROOF TERRACES, BALCONIES & TERRACES & OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH **H2D8** OF NCC.

PART H3 FIRE SAFETY:

ALL CLASS 1 BUILDING MUST BE PROTECTED FROM THE SPREAD OF FIRE IN ACCORDANCE WITH **H3D1** OF NCC.

ALL OCCUPANTS OF A CLASS 1 BUILDING MUST BE PROVIDED WITH AUTOMATIC WARNING ON THE DETECTION OF SMOKE IN ACCORDANCE WITH **H3D6** OF NCC.

CLASS 1 & 10 BUILDINGS WITHIN THE BUSHFIRE ZONE MUST BE CONSTRUCTED WITH MATERIALS CONTAINING FIRE HAZARD PROPERTIES & NON-COMBUSTIBLE ELEMENTS IN ACCORDANCE WITH **H3D2** OF NCC.

FIRE SEPARATION OF EXTERNAL WALLS MUST COMPLY WITH **H3D3** OF NCC & **PART 9.2** OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

FIRE PROTECTION OF SEPARATING WALLS AND FLOORS MUST COMPLY WITH **H3D4** OF NCC & **PART 9.3** OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

FIRE SEPARATION OF GARAGE-TOP DWELLINGS MUST COMPLY WITH **NSW H3D5** OF NCC & SECTION 9 (**PARTS 9.3 & 9.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

SMOKE ALARMS & EVACUATION LIGHTING TO BE INSTALLED IN ACCORDANCE WITH **H3D6** OF NCC & SECTION 9 (**PART 9.5**) & NSW **PART 9.5.1** OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

PART H4 HEALTH & AMENITY:

WET AREAS TO BE CONSTRUCTED & WEATHERPROOFED IN ACCORDANCE WITH **H4D2 & H4D3** OF NCC & SECTION 10 (**PART 10.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS & AS 3740

MATERIALS & INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS MUST COMPLY WITH **H4D3** OF NCC & SECTION 10 (**PART 10.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. & AS3740

ROOM HEIGHTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH **H4D4** OF NCC & SECTION 10 (**PART 10.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

HEALTH & AMENITY FACILITIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH **H4D5** OF NCC & SECTION 10 (**PART 10.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

LIGHT SHALL COMPLY WITH **H4D6** OF NCC & SECTION 10 (**PART 10.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ARTIFICIAL LIGHTING IS TO BE INSTALLED IN ACCORDANCE WITH **H4D6** OF NCC & SECTION 10 **PART 10.5.2** TO ANY SANITARY COMPARTMENT, BATHROOM, SHOWER ROOM, AIRLOCK & LAUNDRIES IF NATURAL LIGHTING IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF **PART 10.5.1** IS NOT AVAILABLE.

VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH **H4D7** OF NCC & SECTION 10 (**PART 10.6**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS AND INSTALLED TO MANUFACTURERS SPECIFICATIONS.

SOUND INSULATION IS TO BE INSTALLED IN ACCORDANCE WITH **H4D8** OF NCC & SECTION 10 (**PART 10.7**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS AND INSTALLED TO MANUFACTURERS SPECIFICATIONS.

CONDENSATION AND WATER VAPOUR MANAGEMENT SHALL COMPLY WITH **H4D9** OF NCC & SECTION 10 (**PART 10.8**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

PART H5 SAFE MOVEMENT & ACCESS:

CLASS 1 AND 10 BUILDINGS MUST BE CONSTRUCTED IN ACCORDANCE WITH **H5D1** OF NCC.

STAIRWAYS AND RAMPS MUST BE CONSTRUCTED IN ACCORDANCE WITH **H5D2** OF NCC & SECTION 11 (**PART 11.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

BARRIERS AND HANDRAILS MUST BE INSTALLED IN ACCORDANCE WITH **H5D3** OF NCC & SECTION 11 (**PART 11.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

PART H6 ENERGY EFFICIENCY:

BUILDING FABRIC AND THERMAL PERFORMANCE OF A CLASS 1 AND 10 BUILDING SHALL COMPLY WITH **H6D1** AND **NSW H6D1** OF NCC AND SECTION 13 (**PARTS 13.2-13.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

THE ENERGY VALUE AND/OR USAGE OF A BUILDING'S DOMESTIC SERVICES MUST COMPLY WITH **H6D2** AND **NSW H6P3** OF NCC AND SECTION 13 (**PARTS 13.6-13.7**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

A BUILDING MUST HAVE, TO THE DEGREE NECESSARY, A LEVEL OF BUILDING SEALING AGAINST AIR LEAKAGE IN ACCORDANCE WITH NSW **H6P2** OF NCC.

PART H7 ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION REQUIREMENTS:

HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES ARE TO BE INSTALLED IN ACCORDANCE WITH **H7D5** AND SECTION 12 (**PART 12.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB HOUSING PROVISIONS).

AUSTRALIAN STANDARDS:

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NCC NATIONAL CONSTRUCTION CODE OF AUSTRALIA.

ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS :

The building and fittings shall be in accordance with the following Australian Standards, Manufacturers' Specifications and guidelines and with Engineers' details and specifications:

AS 4678 All site preparation & earth retaining structures
AS 1289 Methods of testing soil for engineering purposes
AS/NZS 3500 National plumbing and drainage
AS 3740 Waterproofing in wet areas in residential buildings
AS 3600 Concrete Structures
AS/NZS 1170 Structural design actions
AS 1684 Residential timber-framed construction
AS 4100 Steel Structures
AS/NZS 4600 Cold-formed steel structures
AS1720 Design of timber structures
AS 3700 Masonry structures
AS 4773 Masonry in small buildings
AS/NZS 2269 Plywood - structural
AS/NZS 2699 Built in components for masonry construction
AS 2870 Residential slabs and footings - construction
AS 4586 Slip resistance classification of new pedestrian surface materials
AS/NZS 2311 Painting of buildings
AS/NZS 2179 Specification of rainwater goods, accessories and fasteners
AS/NZS 2904 Damp-proof courses and flashings AS/NZS Plumbing and drainage
AS 3660 Termite management
AS 4055 Wind loadings for housing
AS/NZS 4200 Pliable building membranes and underlays
AS/NZS 4858 Wet area membranes
AS/NZS 4859 Materials for thermal insulation of buildings
ISO 8336 Fibre cement flat sheets
AS 3900 Thermal insulation of buildings
AS 1530 Methods for fire tests on building materials, components and structures
AS 2047 Glazed assemblies windows and doors
AS 1288 Glass in buildings.
AS 1860 Particleboard Flooring
AS/NZS 1859 Flat pressed particleboard
AS 2688 Timber and composite doors
AS 2689 Timber door sets
AS/NZS 4505 Domestic garage doors
AS/NZS 1562 Design and installation of sheet roof and wall cladding
AS 1668 The use of ventilation and airconditioning in buildings
AS/NZS 1680 Interior lighting and safe movement
AS 1905 Components for the protection of openings in fire resistant walls
AS/NZS 3666 Air-handling and water systems of buildings
AS 3823 Performance of electrical appliances
AS 4254 Ductwork for air-handling systems in buildings
AS 5146 Reinforced aerated autoclaved concrete construction
AS/NZS 2172 Solar and heat pump water heaters
AS/NZS 3000 Electrical installations
AS 4654 Waterproofing membrane systems for exterior use
AS/NZS 2589 Gypsum lining - Application and finishing.
AS/NZS 4455 Masonry units, pavers, flags and segmental retaining wall units
AS 3786 Smoke alarms
AS 3958 Ceramic tiles

1	12/07/24	DA ISSUE
2	15/11/24	DA REVISED
Revision Number	Revision Date	Revision Description
Revision Schedule		



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Drawn: JB	Designed: JB
CCQP No:	CCQP Checked:
File Ref: 20231062	Approved for Construction:
Scale: 1 : 100	
Date: 12/04/24	

PROPOSED ADDITIONS & ALTERATIONS
31 MALVERN STREET,
LITHGOW, NSW 2790

NOTES SHEET

TOM EVANGELIDIS



170 RANKIN STREET,
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Fax: (02) 6331821

Project. No.
20231062

DWG. No. **A08** Issue: **2**



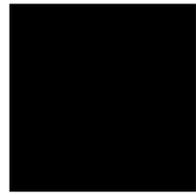
Colorbond Monument

- External Metal Cladding
- External Weatherboard Cladding
- Roof Sheetting
- North/South/West fascia & gutter
- Garage Door



Colorbond Manor Red

- East fascia



Colorbond Ultra Black

- Window frames
- Exterior glass door frames
- Exterior sliding door frames



Recycled Brick (Matching Existing)

- All external brick

Revision Number	Revision Date	Revision Description
1	12/07/24	DA ISSUE
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Revision Schedule		



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Date: 12/04/24	

PROPOSED ADDITIONS & ALTERATIONS
 31 MALVERN STREET,
 LITHGOW, NSW 2790

COLOUR SCHEDULE

TOM EVANGELIDIS

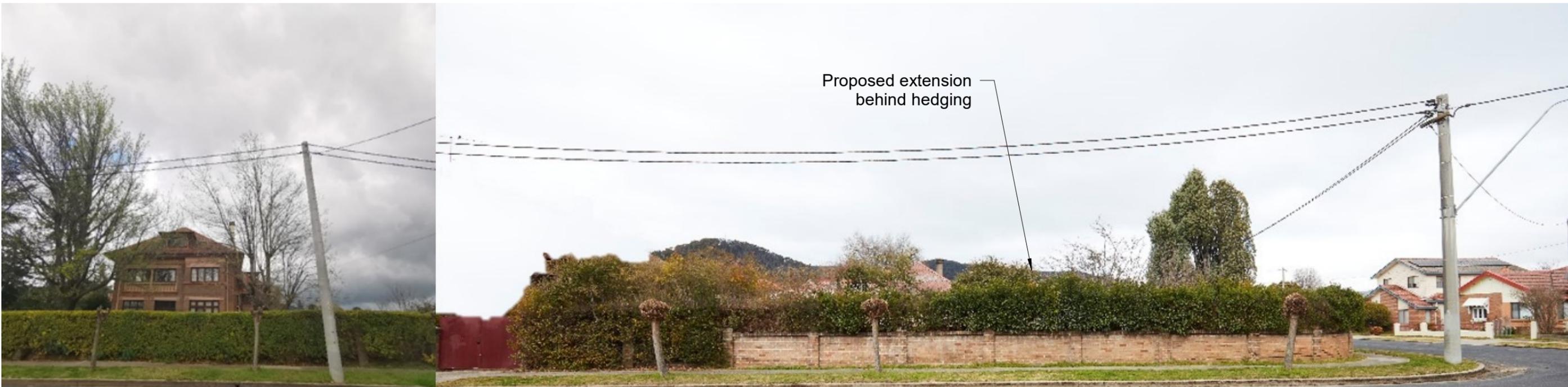


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Project. No.	20231062
DWG. No.	Issue:
A09	2



Streetscape - Malvern St (View facing East)



Streetscape - Malvern St (View facing south)

Revision Number	Revision Date	Revision Description
1	12/07/24	DA ISSUE
2	15/11/24	DA REVISED

Revision Schedule



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CCQP No:	CCQP Checked:
File Ref: 20231062	Approved for Construction:
Scale:	
Date: 12/04/24	

PROPOSED ADDITIONS & ALTERATIONS
 31 MALVERN STREET,
 LITHGOW, NSW 2790

STREETSCAPE INFILL

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Project. No.	20231062
DWG. No.	Issue:
A10	2