

# DEMOLITION MANAGEMENT PLAN



SEE LANDSCAPE PLAN FOR TREE PROTECTION

## PROCEDURE OF DEMOLITION

The existing dwelling and all other existing structures will be demolished and removed from the site in accordance with the Council's Demolition Code and with AS 2601 - 2001

All the quantity of asbestos found on the site will be removed manually by wet method, as required under the Worker and Safety Regulations to Australian Standards 2601-2001 & EPA wrapped with thick plastic and placed in a dedicated bin. The bin will be securely sealed and tipped. The employees are required to wear protective garments and masks for hazardous materials. Employees shall be permitted to work only from a safe and serviceable

The roof will be removed manually and action will be taken to prevent materials from falling from above. Demolished materials will be removed progressively and shall not be allowed to accumulate and present a hazard to the public or the workers on the site. The brick base will be loosened by a small 12 ton excavator and cleaned manually for reuse in the new development.

## Environmental Effects and Requirements;

All the work shall be supervised by a competent person. Operation hours on weekdays 7.30am till 3.30pm Saturdays 8.00am till 1.00 pm. Safety fence with lockable gates and safety signs will be erected around the premises. Dust will be minimized by the use of water spraying where and when necessary. Noise will be minimized particularly in the morning hours. noise from the construction/ demolition associated with the development shall comply to the NSW Environmental operations act 1997. Neighbours will be protected from any works associated with the demolition and or construction of the development.

## PRIOR TO COMMENCEMENT:

Staff amenities will be established. Any special Council requirements will be addressed. The owner will arrange disconnection of services, but will leave water supply connected at the meter. Temporary Electricity pole will be erected and connected for use.

## WORK METHOD STATEMENT:

THE SINGLE STOREY FIBRO AND METAL ROOF COTTAGE AND OTHER EXISTING STRUCTURES WILL BE DEMOLISHED MANUALLY AND REMOVED FROM THE SITE BY LICENCED PROFESSIONALS WHO WILL TRY TO MAXIMIZE SORTING AND RECYCLING ALL THE MATERIALS OF THE SITE. FOR MORE DETAILS SEE THE WASTE MANAGEMENT PLAN.

PROJECT PROPOSED TWO STOREY FOUR TOWN HOUSE DEVELOPMENT		ADDRESS 81 MARTINI Parade, LITHGOW NSW	
CLIENT M. PARTRAGE		CLIENT M. PARTRAGE	
DRAWN AJ	SCALE 1:100	DATE 2025 01 26	DATE 2025 01 26
DRAWING No: PR024.021, Page 1c		ISSUE A	
ISSUED FOR CONFIRMATION JAN. 2025		 <b>SABTON &amp; SON</b> BUILDING DESIGNERS AND ENGINEERS sabtonandson@gmail.com Mob: 0408 663 223 Tel: (612) 4567 2002	

### Property Description

LOT: 31  
 D.P: 251410  
 L.G.A: Lithgow City Council

### Development Data

Site Area.....1117.80sqm  
 Units 1&2 Internal Floor Area per Unit.....120.88sqm  
 Units 3&4 Internal Floor Area per Unit.....120.886sqm  
 Units 1&2 Tot. Floor Area including garage... 241.76sqm  
 Units 3&4 Tot. Floor Area including garage... 241.76sqm  
 Proposed Total Floor Area.....483.52sqm  
 Total Floor Area FSR ..... 43.2% of site

### Landscape Requirements

Site Area.....1117.80sqm  
 Built-upon area for Units 1&2.....182.15sqm  
 Built-upon area for Units 3-5..... 182.15sqm  
 Total Driveways + Walkways.....134.60sqm

Proposed Soft Landscape Area..... 618.90sqm

Min. Landscape Req.....30% of site = 335.34sqm

### Principal Private Open Space

Units 1- 4 Principal Private Open Space.....> 46.00sqm

Units 1- 4 P. P. O. S. Minimum dimension.....> 4.0m

Units 1- 4 P. P. O. S. 25% Covered Area .....Max.16sqm

### Garage and Storage Areas

Units 1- 4 Secure Parking for One Vehicle per Unit.  
 Units 1- 4 Secure Parking for One Bicycle per Unit.  
 Units 1- 4 =>14cm Bulk Storage Area Provided per Unit.

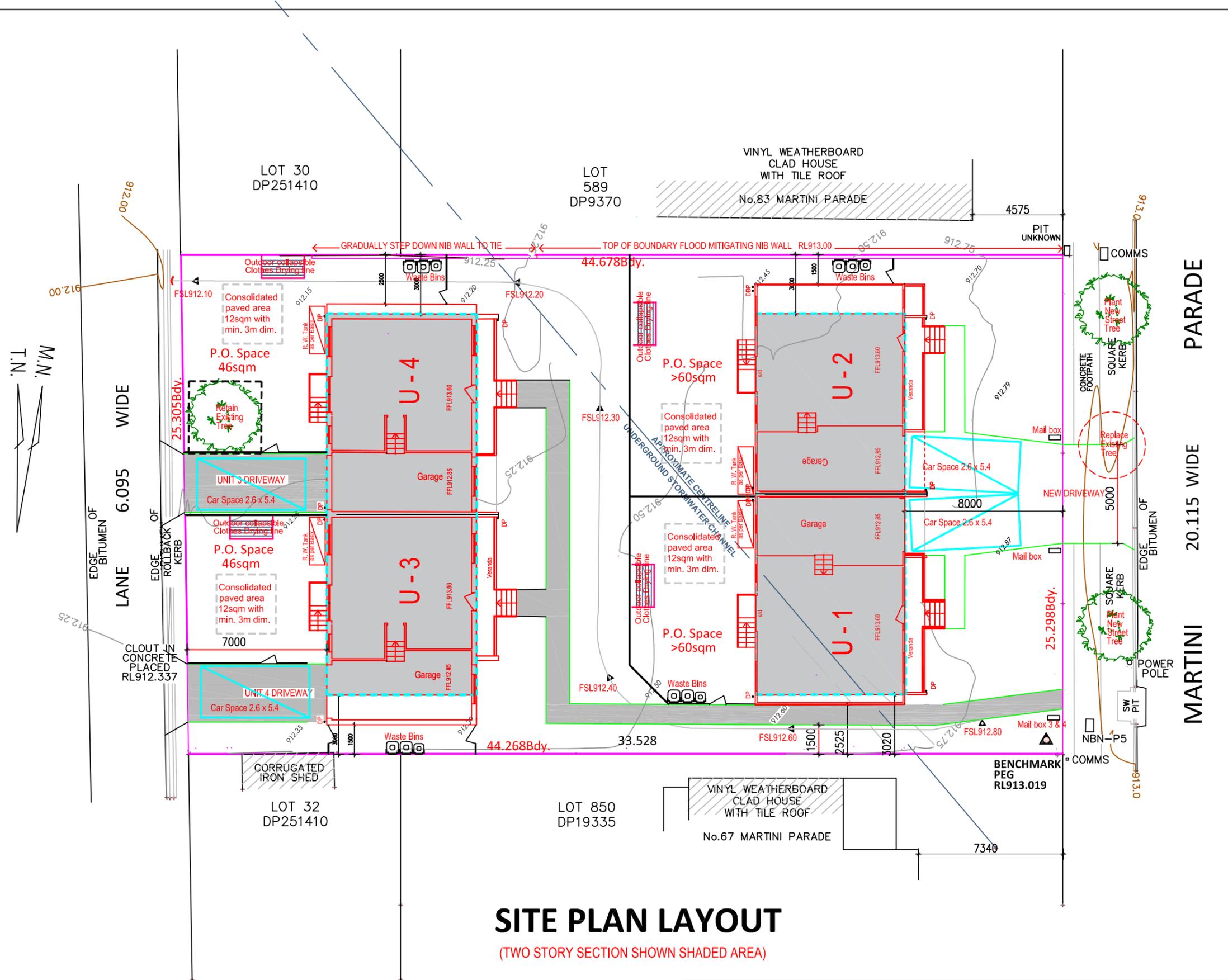
### Height / Setback Requirements

Maximum Building Height Permitted..... 8.5m  
 Maximum Height Provided for Units 1- 4 .....<8.0m  
 Required Street Setback for 2 Storey..... 6.0m  
 Provided Street Setback for Units 1 - 4..... 7.0m

Side Setback for Units 1 - 4 (2 story)..... 3.0m (min.)

Side Setback for Units 1 - 4 (1 story)..... 1.5m (min.)

(Southern side neighbor effected by only moderate shadow)



## SITE PLAN LAYOUT

(TWO STORY SECTION SHOWN SHADED AREA)

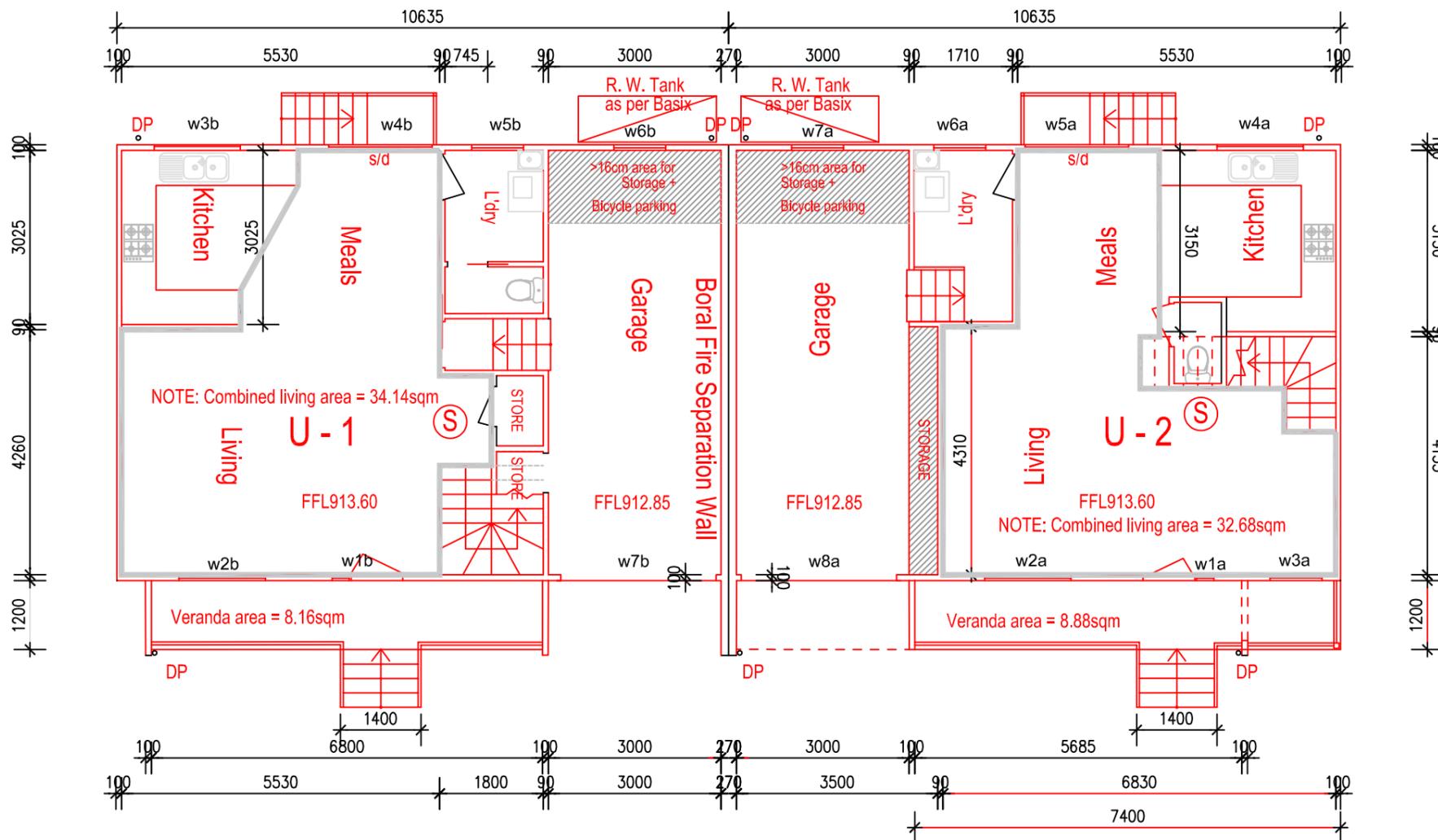


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<b>DRAWN</b> AJ	<b>SCALE</b> 1:200	<b>DATE</b> 2025 06 03	<b>DATE</b> 2025 06 03
<b>DRAWING No:</b> PR024.021, Page 1a	<b>ISSUE</b> C	<b>SABTON &amp; SON</b> BUILDING DESIGNERS AND ENGINEERS	
sabtonandson@gmail.com Mob: 0408 663 223 Tel: (612) 4567 2002			

## WINDOW SCHEDULE

UNITS 1 & 2 - GROUND FLOOR

W. No.	Size (height x width)	Description - Type
w1a; b	2100 x 300	Door Side Panel
w2a; b	1800 x 1500	Sliding
w3a	1800 x 1000	Sliding
w4a; 3b	1000 x 1500	Sliding
w5a; 4b	2100 x 1800	Sliding
w6a; 5b	900 x 900	Sliding
w7a; 6b	900 x 900	Sliding
w8a; 7b	600 x 2700	Fixed Panel



## U1 & U2 Ground Floor Plan

NOTE: Internal floor area of Ground Floor excluding garage area = 54.47sqm

Ⓢ – Denotes Hard Wired Smoke Alarm



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PROPOSED TWO STOREY FOUR TOWN HOUSE DEVELOPMENT		
B	SINGLE DRIVEWAY FOR UNITS 1 & 2	MAR. 2025
A	ISSUED FOR DA APPLICATION	JAN. 2025

ADDRESS 81 MARTINI Parade, LITHGOW NSW		
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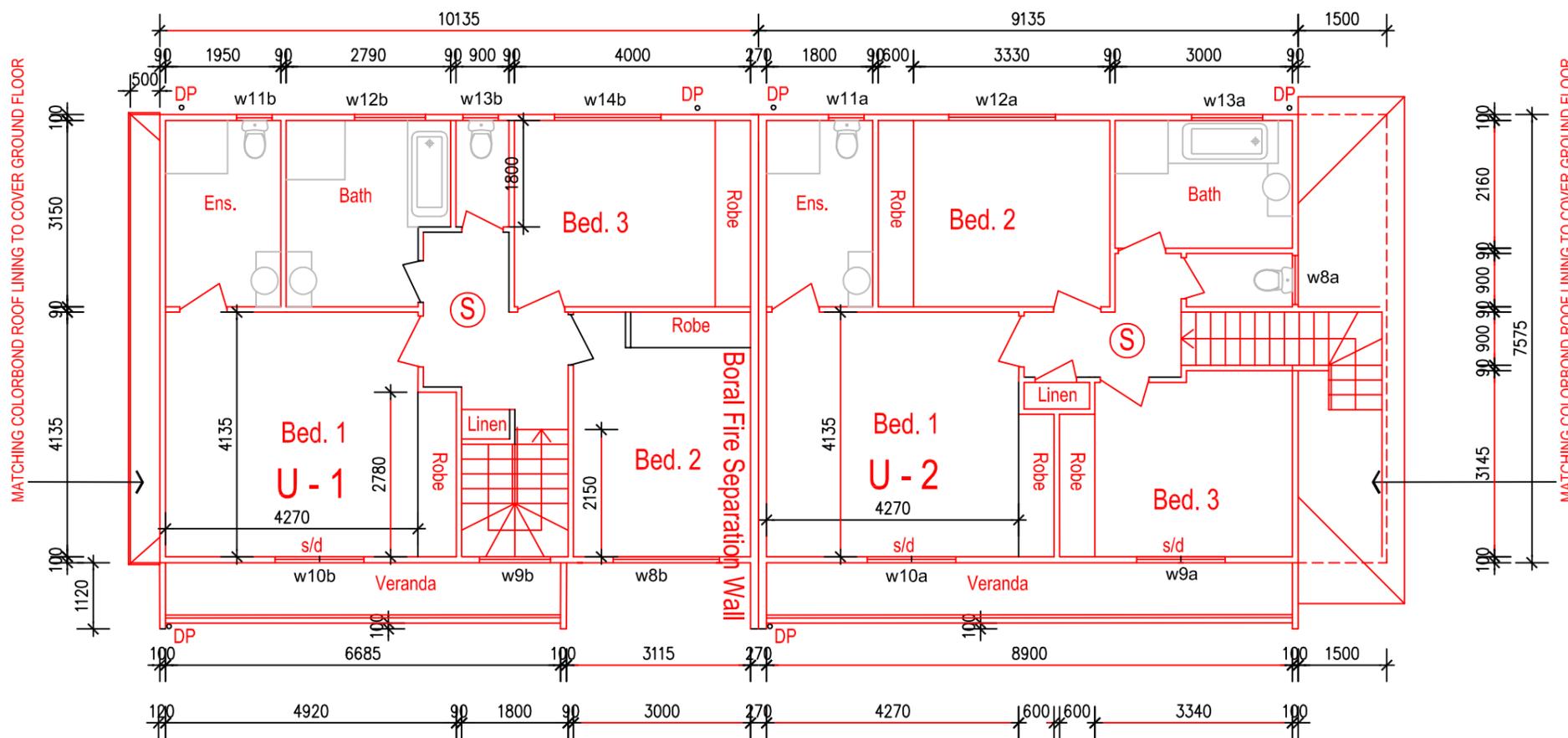


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### WINDOW SCHEDULE

UNITS 1 & 2 - FIRST FLOOR

W. No.	Size (height x width)	Description - Type
w8a	600 x 600	Sliding
w8b	1200 x 1800	Sliding
w9a	2100 x 1800	Sliding Door
w9b	2100 x 1000	Fixed Panel
w10a; b	2100 x 1800	Sliding Door
w11a; b	750 x 600	Sliding (Frosted)
w12a	1200 x 1800	Sliding
w12b	600 x 1200	Sliding (Frosted)
w13a	600 x 1200	Sliding (Frosted)
w13b	600 x 600	Sliding (Frosted)
w14b	1200 x 1800	Sliding



## U1 & U2 First Floor Plan

NOTE: Internal floor area of First Floor excluding additional bathroom = 66.41sqm

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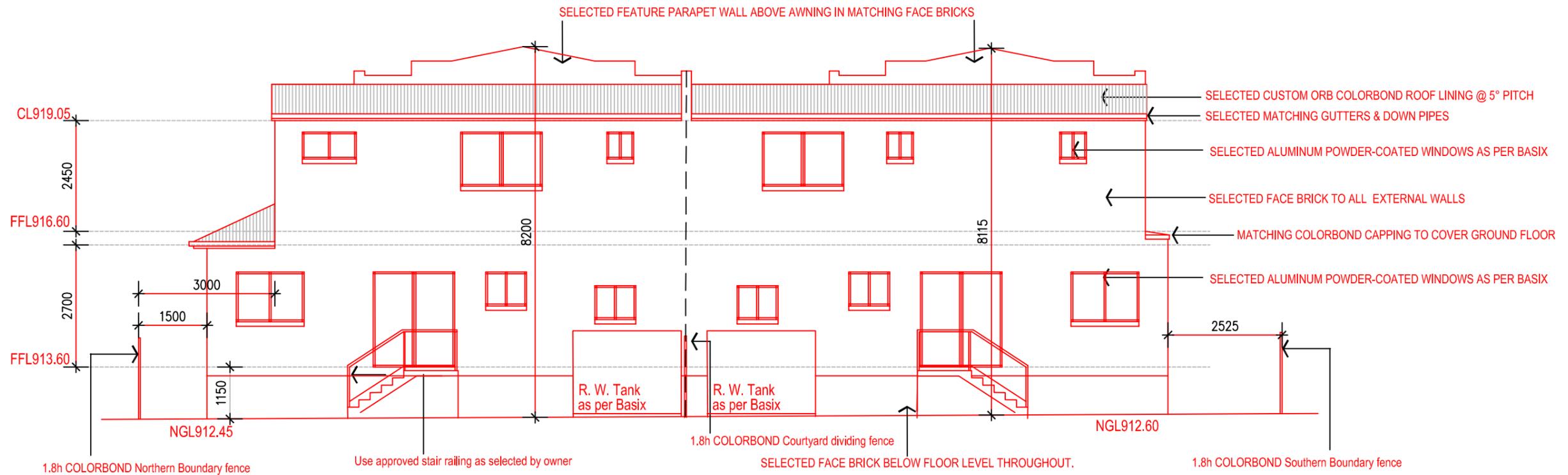


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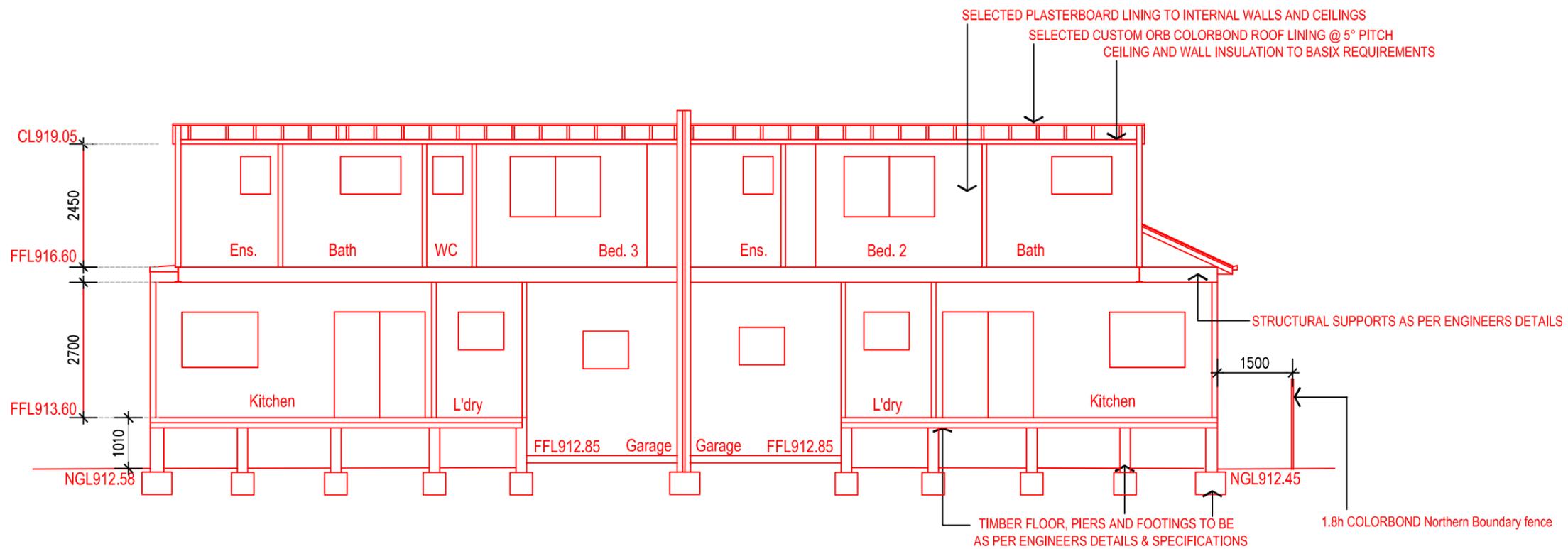
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**U1 & U2 Rear - West Elevation**



**U1 & U2 Section A - A**

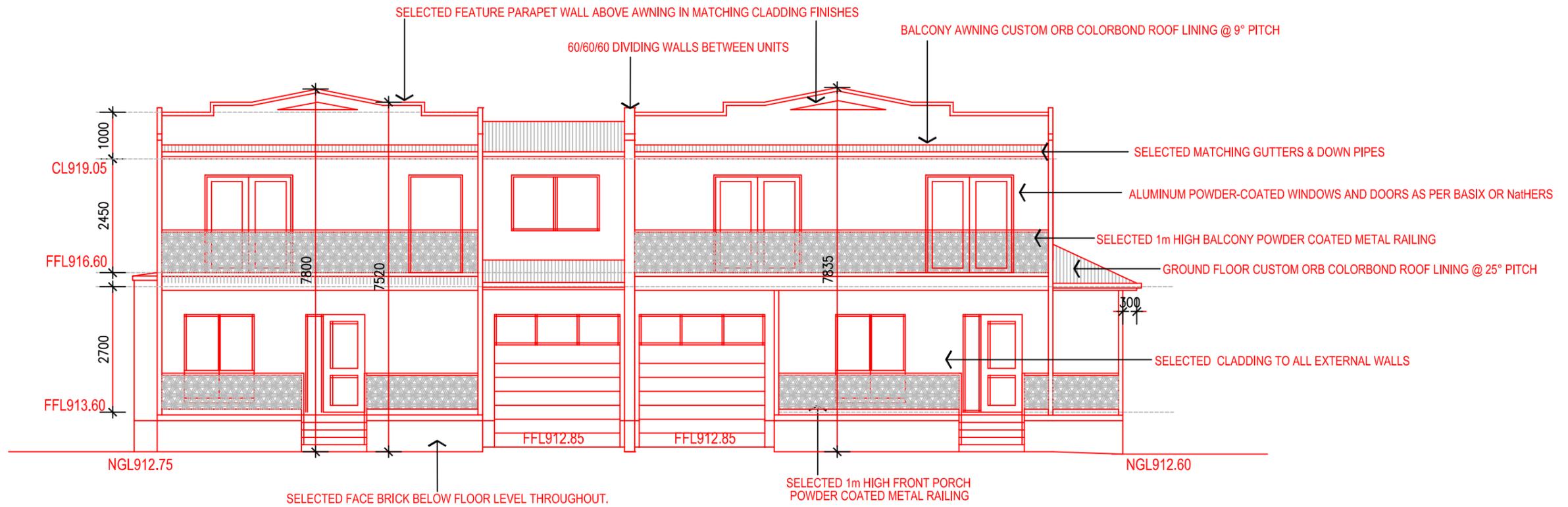


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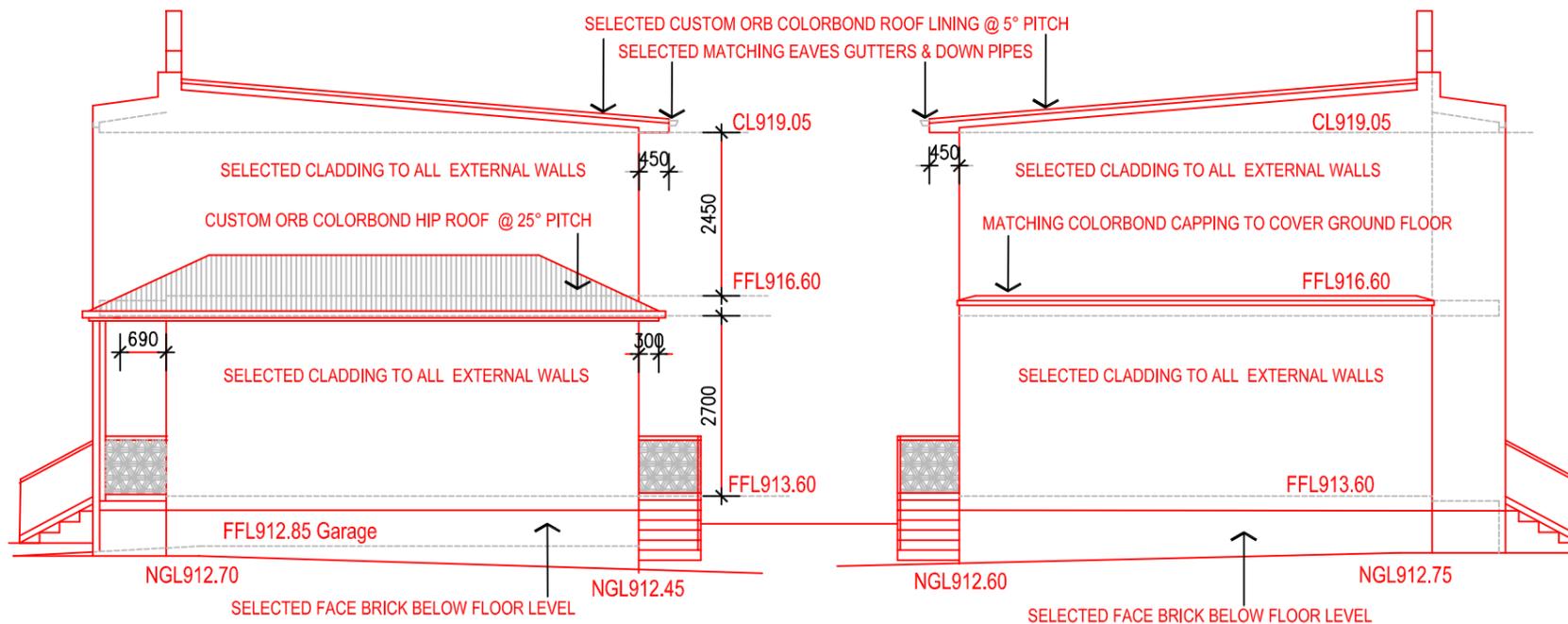
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**U1 & U2 Front - East Elevation**



**U1 Side - North Elevation**

**U2 Side - South Elevation**



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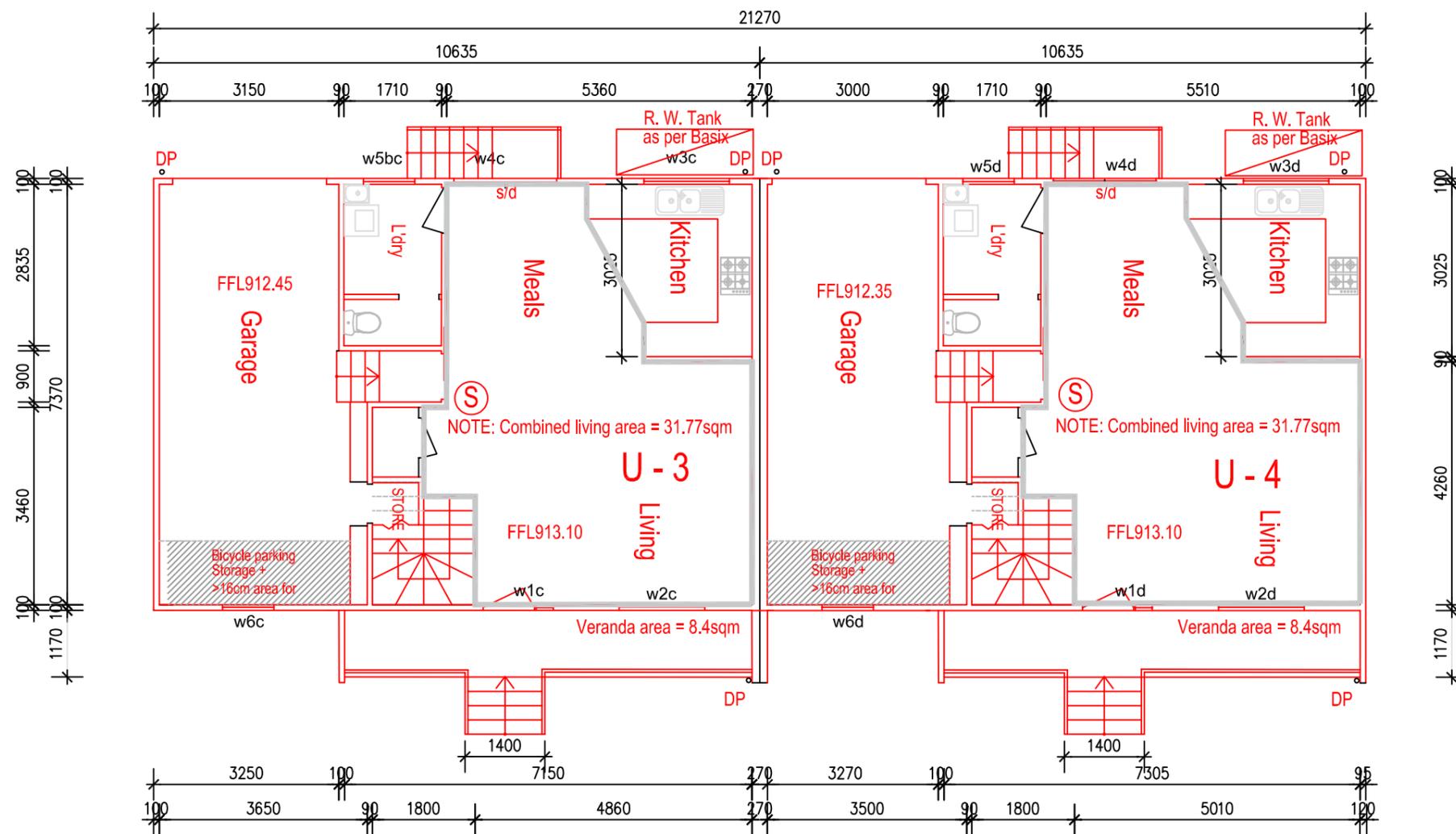


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w5c; d	900 x 900	Sliding
w6c; d	900 x 900	Fixed Glass Panel



## U3 & U4 Ground Floor Plan

NOTE: Internal floor area of Ground Floor excluding garage area = 54.47sqm

Ⓢ — Denotes Hard Wired Smoke Alarm



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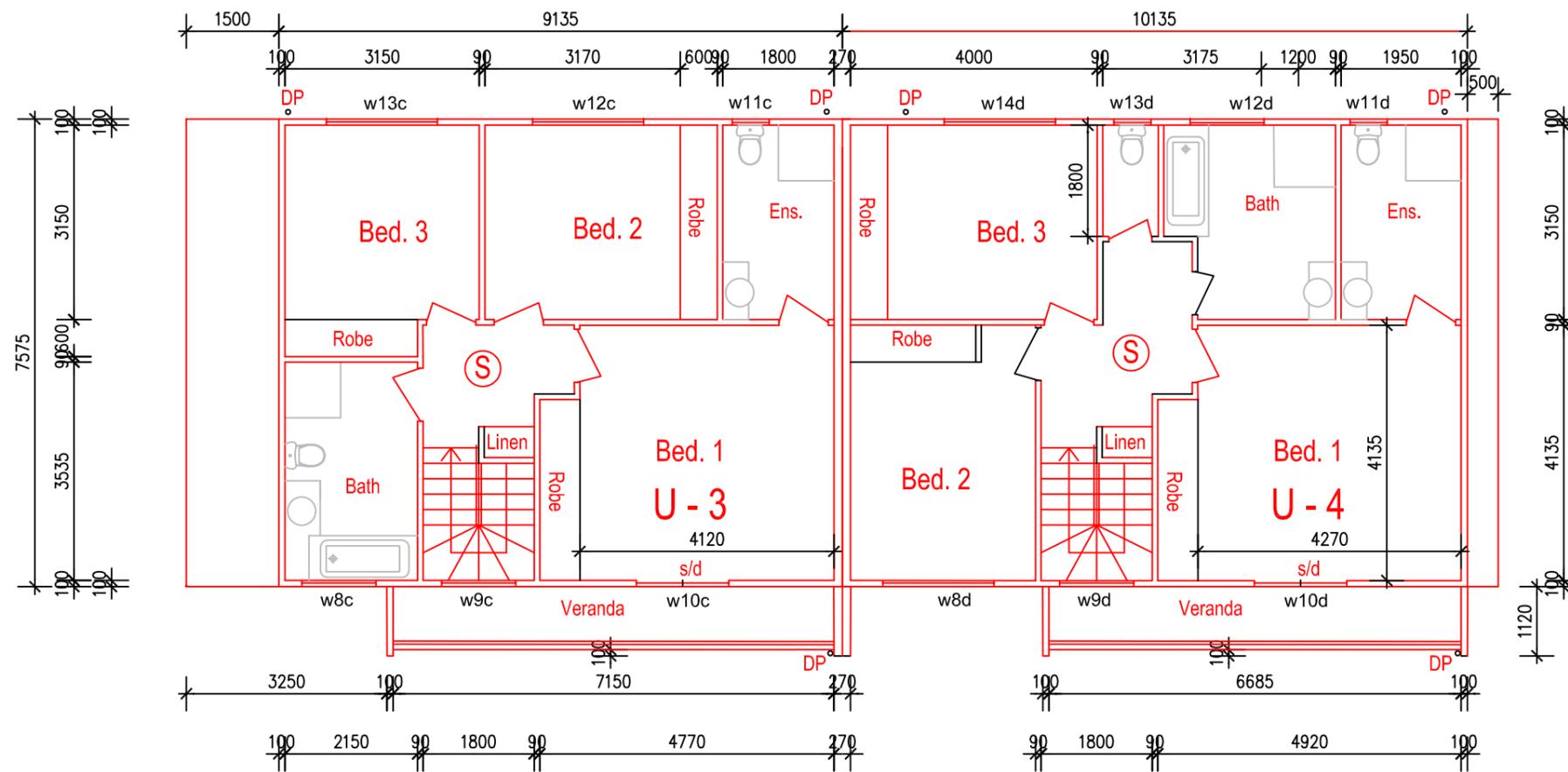


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w11c; d	750 x 600	Sliding (Frosted)
w12c w12d	1200 x 1800 750 x 1200	Sliding Sliding (Frosted)
w13c w13d	1200 x 1800 750 x 600	Sliding Sliding (Frosted)
w14d	1200 x 1800	Sliding



## U3 & U4 First Floor Plan

NOTE: Internal floor area of First Floor  
excluding additional bathroom = 66.41sqm

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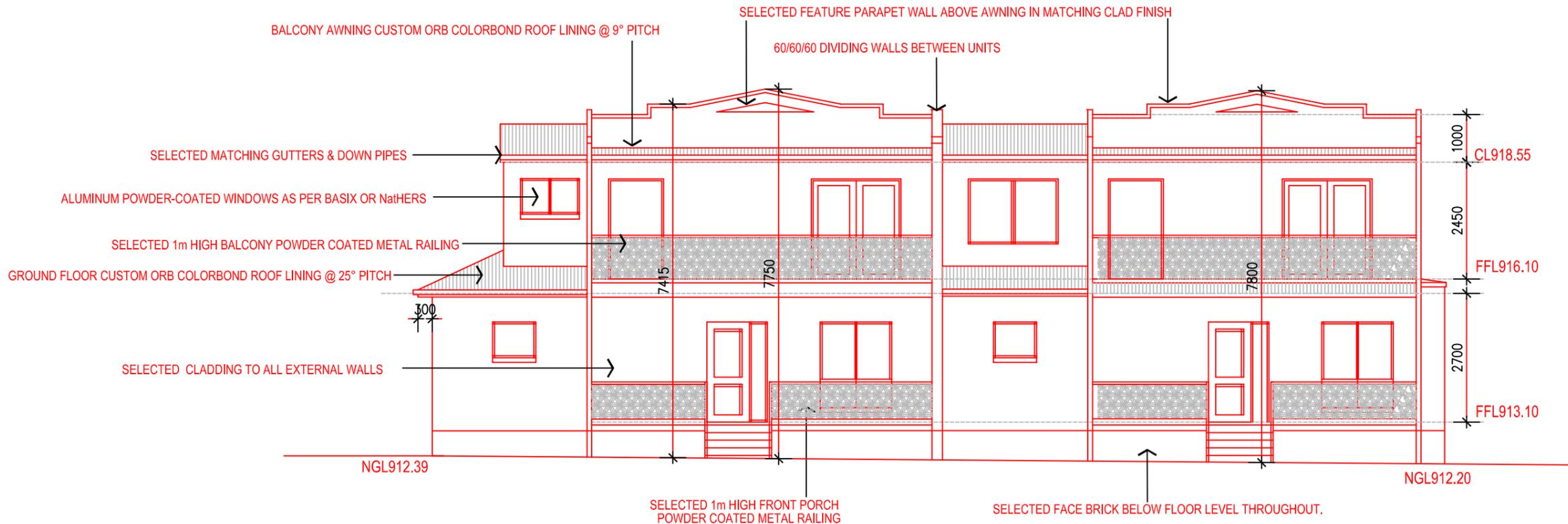


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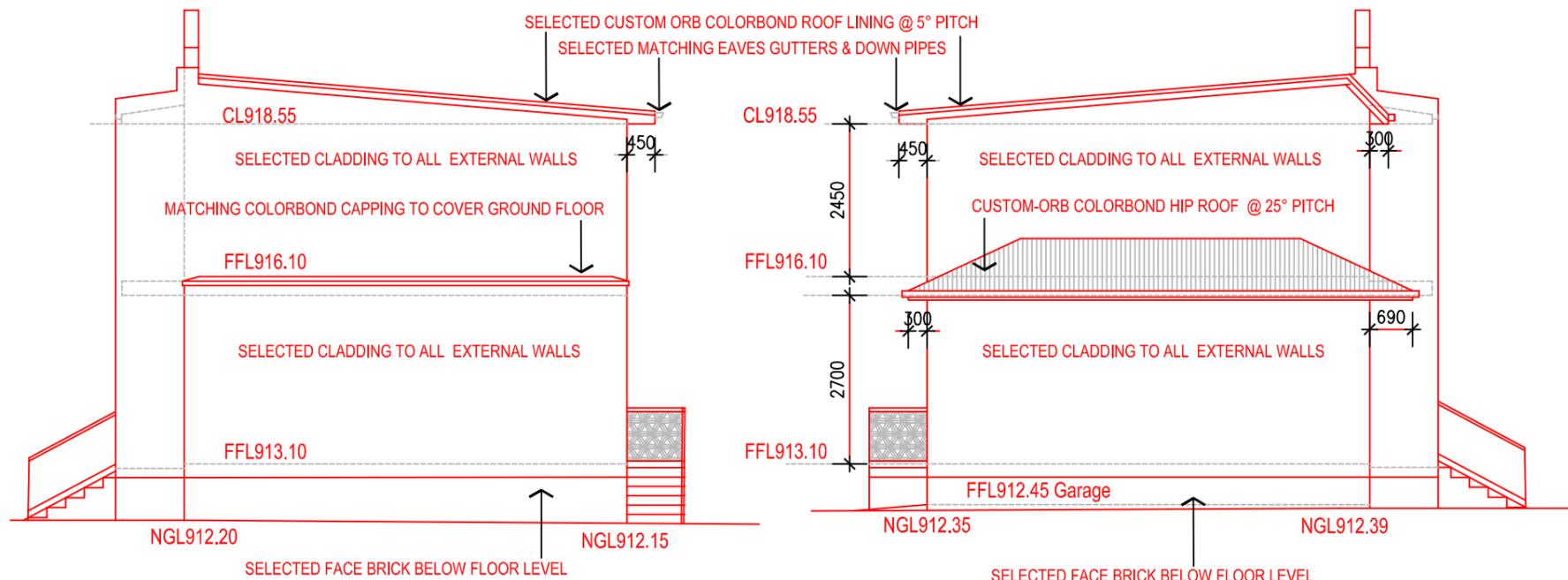
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**U3 & U4 Front - East Elevation**



**U4 Side - North Elevation**

**U3 Side - South Elevation**

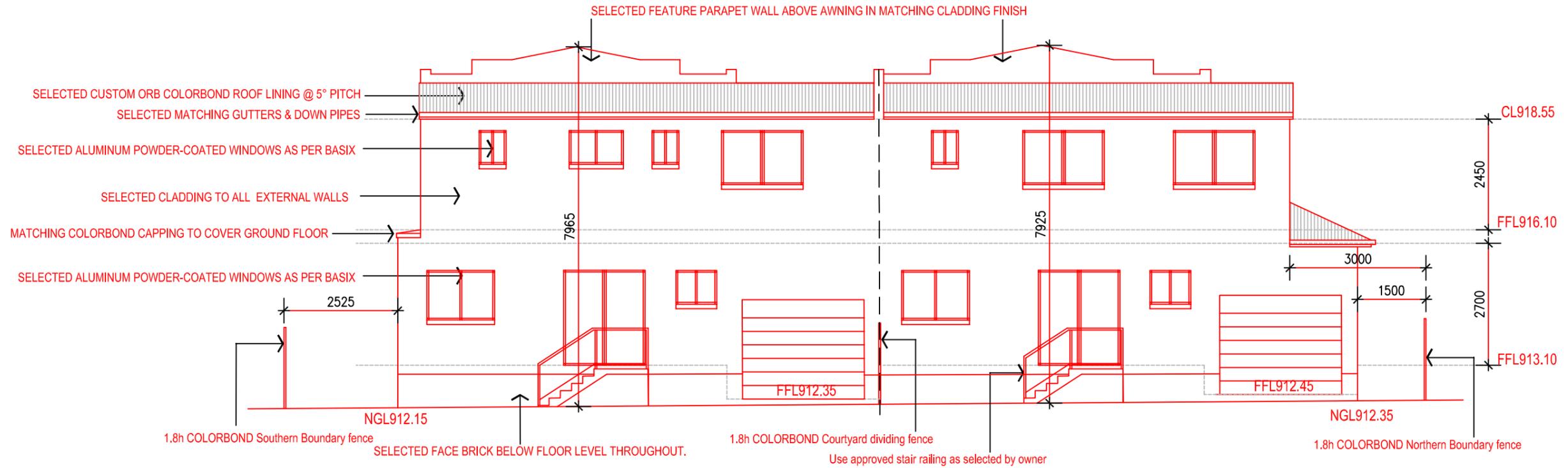


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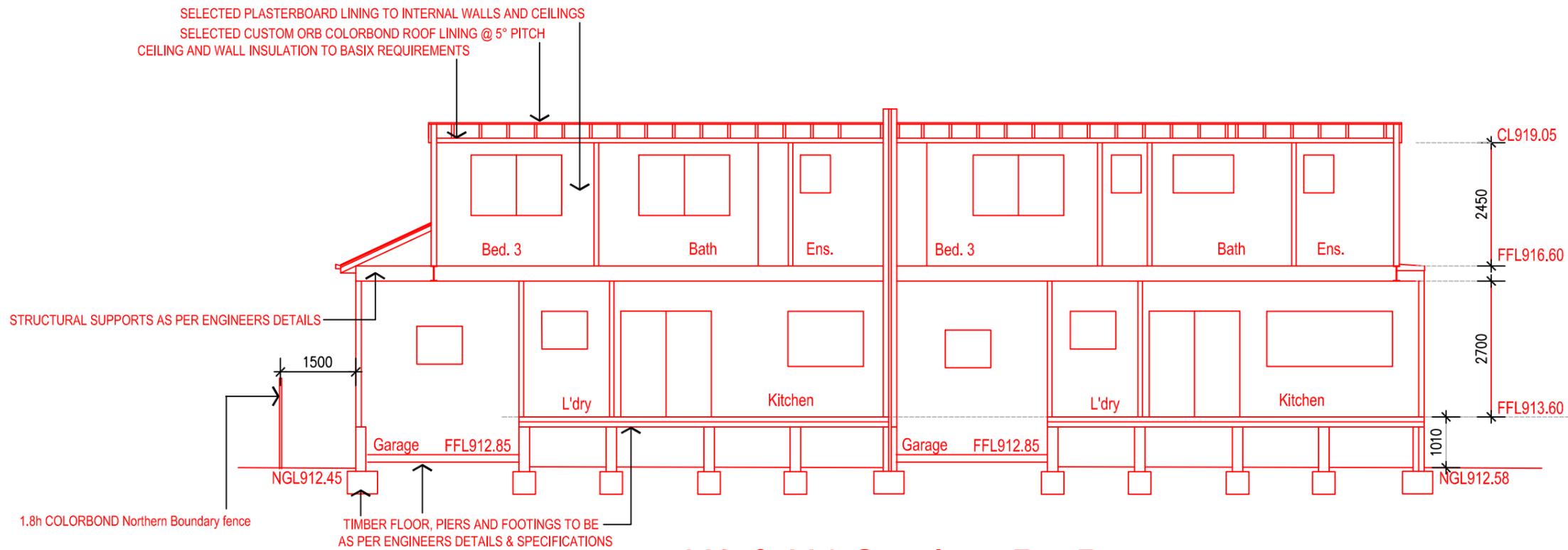
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## U3 & U4 Rear - West Elevation



## U3 & U4 Section B - B

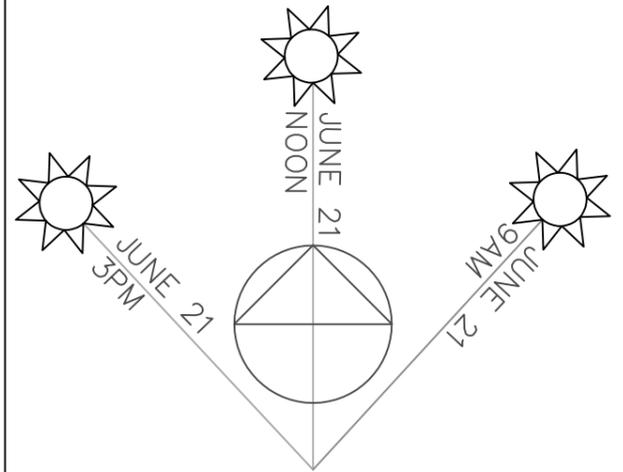
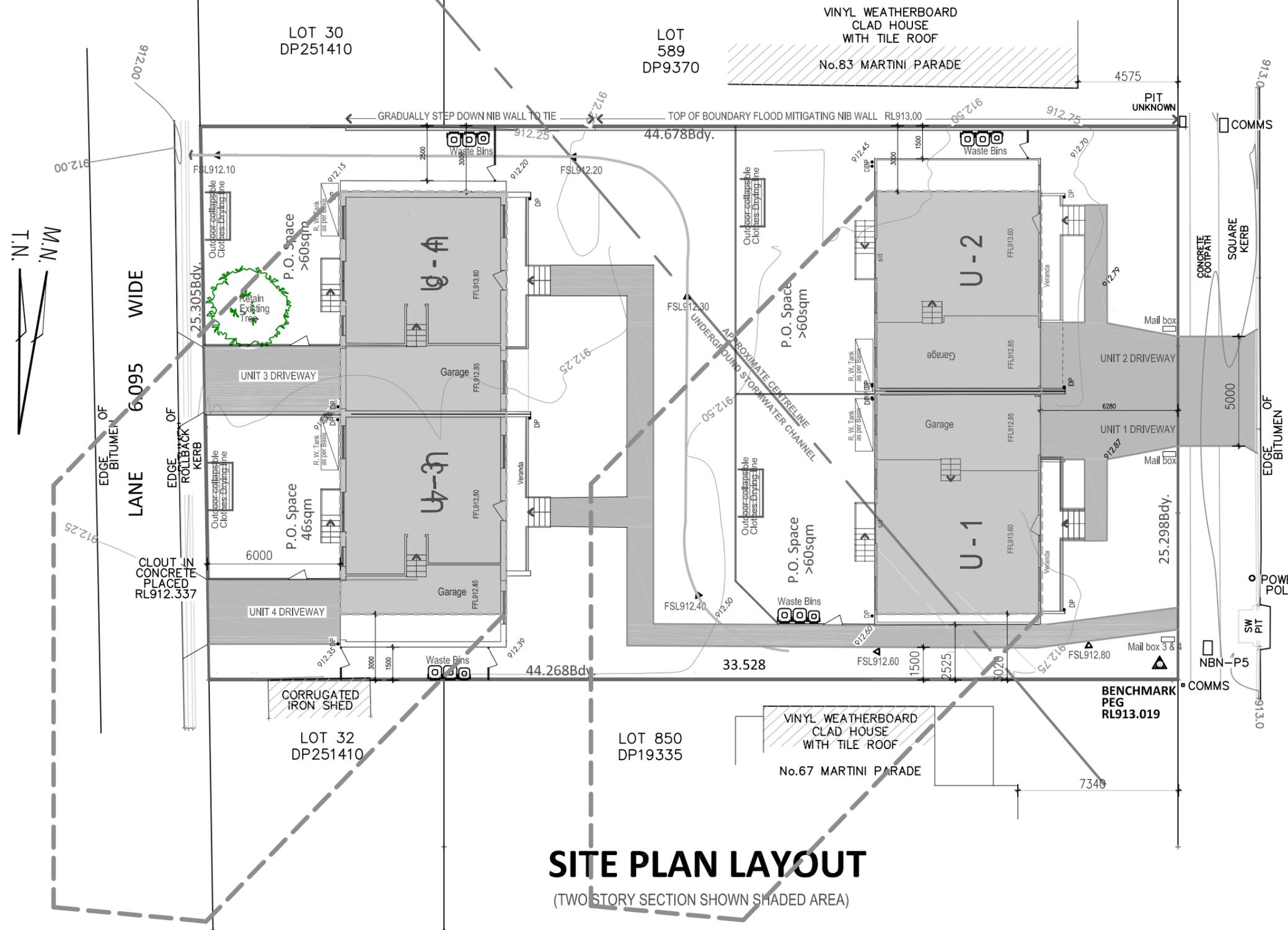


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**9AM SHADOW DIAGRAM  
WINTER - JUNE 21**

**SITE PLAN LAYOUT**  
(TWO STORY SECTION SHOWN SHADED AREA)

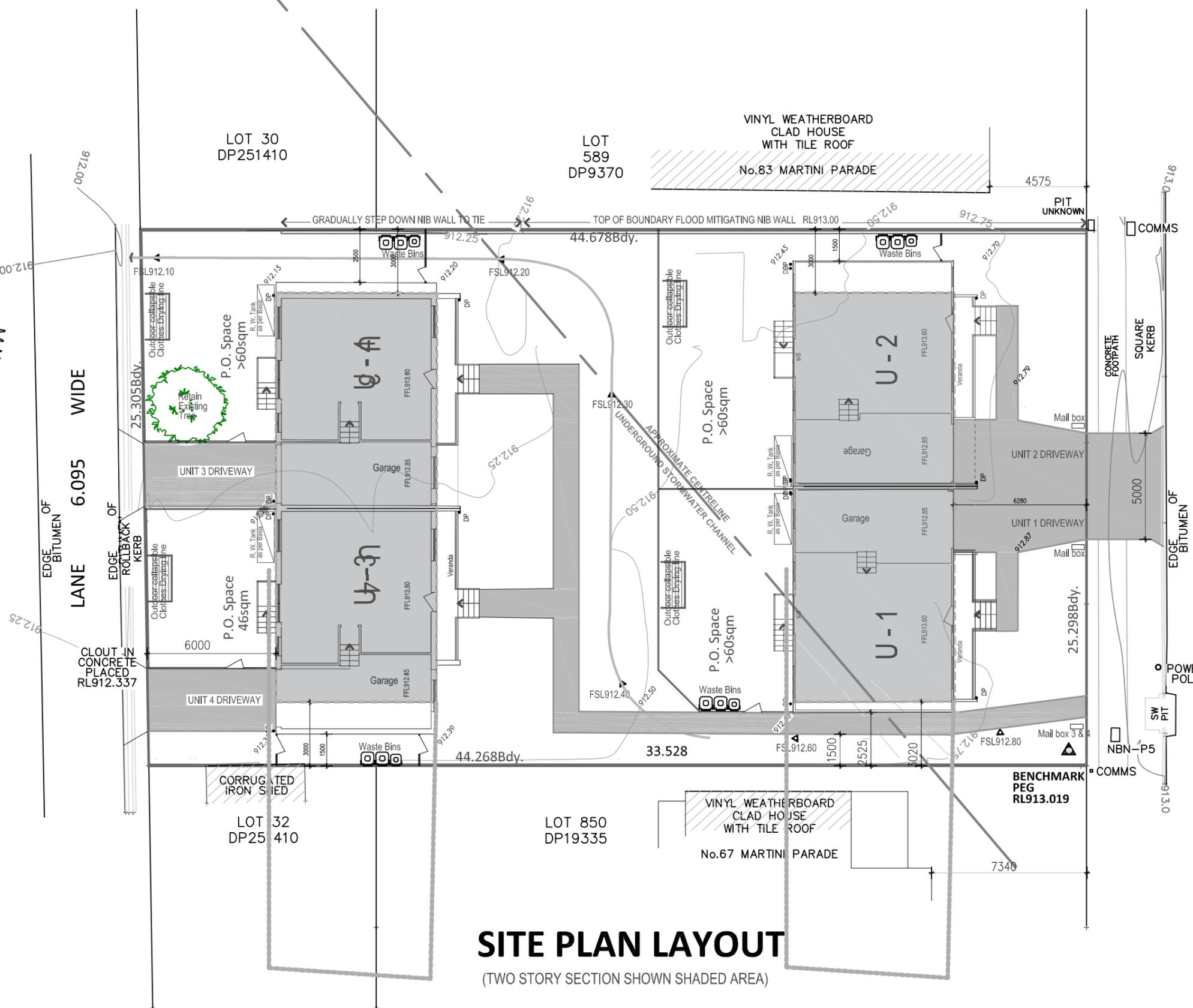
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<b>DRAWING No:</b> PR024.021, Page 1e-i		<b>ISSUE</b> B

**SABTON & SON**  
BUILDING DESIGNERS AND ENGINEERS

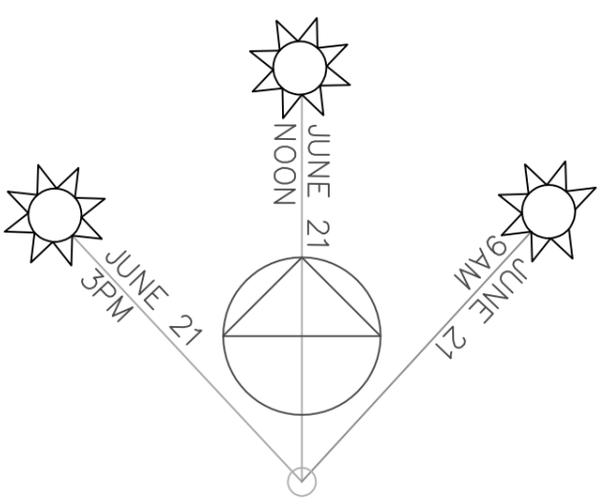
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# SITE PLAN LAYOUT

(TWO STORY SECTION SHOWN SHADED AREA)



## NOON SHADOW DIAGRAM WINTER - JUNE 21



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# SITE ANALYSIS

81 MARTINI PARADE LITHGOW

- Zoned R1 Residential
- No Bushfire risk
- Site characterised by fairly level ground on a residential street with single storey houses
- Full sun exposure throughout the day and year
- Landscape character of the street is sparsely vegetated with few trees and minimal planting schemes dominated by lawns



SATELLITE IMAGE



EXISTING RESIDENCE 81 MARTINI PDE



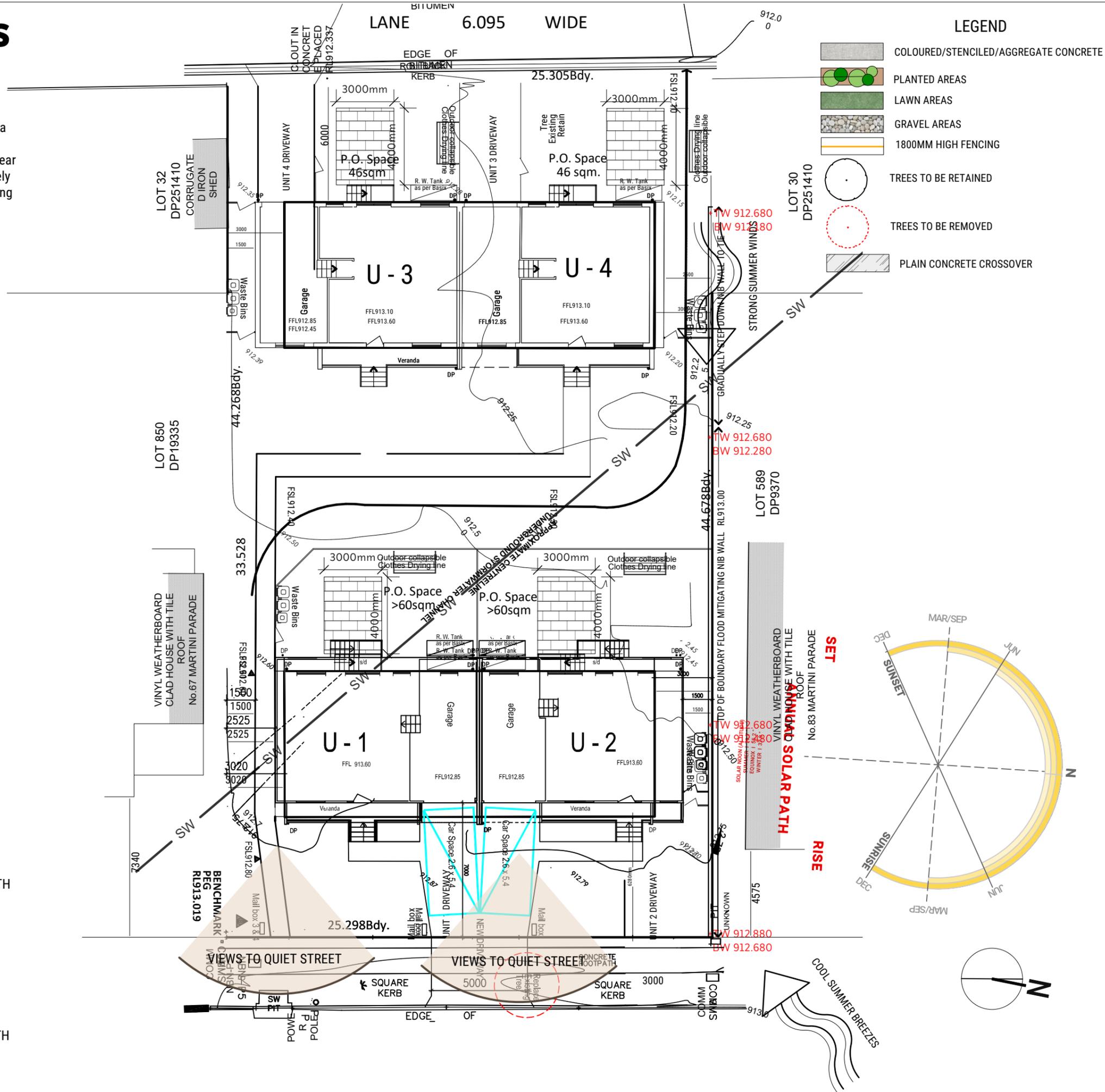
ACROSS THE STREET



NEIGHBOURING PROPERTIES TO THE NORTH



NEIGHBOURING PROPERTIES TO THE SOUTH



## LEGEND

- COLOURED/STENCILED/AGGREGATE CONCRETE
- PLANTED AREAS
- LAWN AREAS
- GRAVEL AREAS
- 1800MM HIGH FENCING
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- PLAIN CONCRETE CROSSOVER



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DRAFTED JW	SCALE 1:200 @ A3 0 1 2 3 4M
SHEET 1 of 4	REFERENCE LP001

DESIGNED BY  
**JOE WIGDAHL**  
-DIPLOMA OF LANDSCAPE DESIGN  
-CERT. III HORTICULTURE

- GENERAL NOTES
- Do not scale from drawings.
  - See Architects drawings for site levels, setbacks and extent of cut and fill.
  - This plan shall be read in conjunction with the Hydraulic Engineers drawings.
  - All relevant Australian standards are to be adhered to.
  - Any structural items are to be installed as per the manufacturer/engineers specifications.
  - This plan is indicative only and not for construction purposes.
  - BASIX commitments are to be adhered to.
  - No liability is accepted by these plans. Contractors are required to check all construction facts, figures and relevant information relevant to the softscape and hardscape works to be performed.
  - Refer to Arborist Report regarding existing trees.

SITE PERMEABLE CALCULATIONS	
LOT AREA	1117.8 sq m
LANDSCAPED AREA TOTAL	562.934 sq m 50.36%

JOB NO. 24020

DRAWING SITE ANALYSIS

CLIENT MITCHELL PARTRIDGE

CLIENT SIGNATURES

ADDRESS 81 MARTINI PARADE LITHGOW NSW

COUNCIL / LODGEMENT LITHGOW

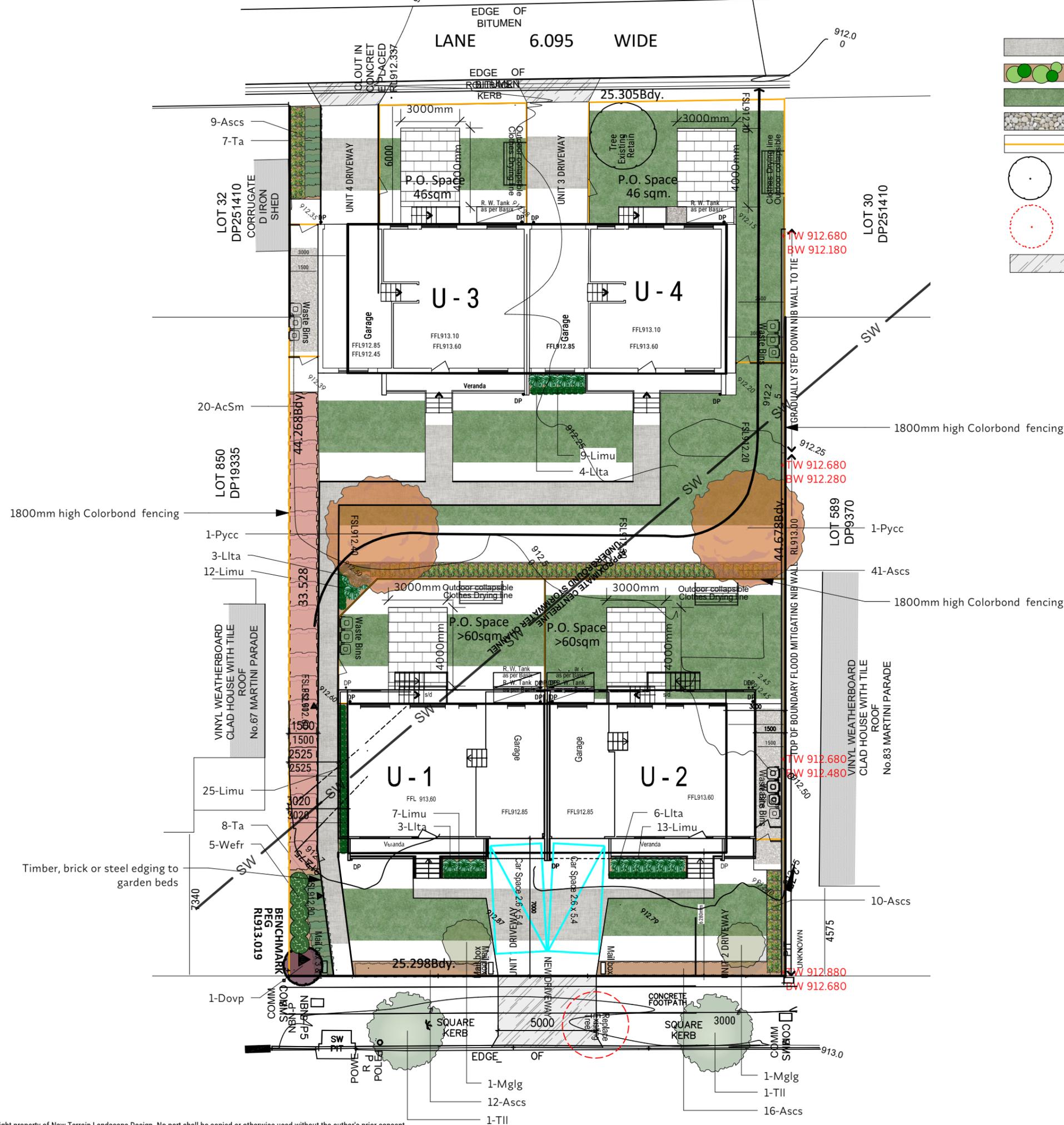
REVISION SCHEDULE			
ISSUE	DESCRIPTION	BY	DATE
A	SUBMISSION PLAN	JW	17/09/24
B	BLDG REVISION	JW	29/11/24
C	Council REVISION	JW	26/05/25
D			
E			



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 info@newterrainlandscapedesign.com.au  
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DRAFTED JW	SCALE 1:200 @ A3 0 1 2 3 4M
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**SITE PERMEABLE CALCULATIONS**

LOT AREA	1117.8 sq m	
LANDSCAPED AREA TOTAL	562.934 sq m	50.36%

JOB NO.  
**24020**

DRAWING  
**LANDSCAPE PLAN**

CLIENT  
**MITCHELL PARTRIDGE**

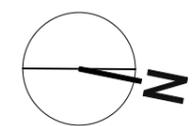
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# SPECIFICATIONS

**Site Establishment** Locate any underground and overground services before commencing works and ensure no damage occurs. All rubbish, debris and vegetation to be removed are to be cleared from landscape areas and disposed of using skip bins on site or transported to local waste management and disposed of properly. Separate materials that can be reused/recycled when possible.

**Reuse existing topsoil** Existing site topsoil should be salvaged & appropriately stockpiled where possible.

**Imported Topsoil** All construction must comply with AS 4419-2003 Soils for Landscaping and Garden Use. Turf Areas: 'Turf Underlay', Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL or approved alternative. Planting in Planter Boxes: Soilmix A - 'Planter Box Mix', Soilmix B - Washed River Sand as supplied by, ANL or approved alternative.

**Sub-soil drainage** Install drainage layer where there is surface water draining into garden beds and where the existing sub-soil has more than 50% clay composition and there is a risk of standing water/subsurface ponding. Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to SW system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.

**Tree Protection** Trees to be retained shall be protected during site works in accordance with AS4970-2009 Protection of Trees on Construction Site and installed according to tree protection details. No excavation or change in soil levels should take place around base of trees. To prevent compaction and damage to tree roots, equipment, tools and site materials shall not be stockpiled or stored on the rootzone of trees. Tree protection zones should be maintained where applicable.

**Weed Eradication** Remove all existing weeds by hand, wiping or spraying with a glyphosate-based herbicide according to manufacturer's guidelines. Weed control shall never be performed by mechanical cultivation or scraping. Herbicide spraying is to be used to eliminate all existing weeds 14 days prior to landscape works to allow time for die-off. Apply herbicide in still, dry weather according to manufacturer's specifications and care is to be taken to prevent desirable plants from being affected by herbicide. All handling of herbicides to be handled as per Workplace Health and Safety best practices. Weeds are to be removed and disposed of appropriately at the local waste management facility as per local council authority guidelines.

**Lawn Area Preparation** Excavate areas to a depth of 100mm below finished levels. Level to ensure all surface water is directed towards any drainage pits and kerbs. Water to be directed away from buildings. Turf to be suitable to local growing conditions and drought tolerant such as *Sir Walter Buffalo* or *Kings Pride Soft Leaf Buffalo*. Turf to be laid closely butted ensuring no gaps between rolls. Turf to be watered thoroughly immediately after installation and as per turf care plan as directed by supplier.

**Plant Staking** All trees and tall screening shrubs should be staked with two 25x25mm hardwood timber stakes per plant. Stakes should be long enough to properly support the stem of the plant to keep in an upright position while plant is establishing. Care should be taken that stakes do not damage roots of plant when installing. Hessian tape is to be wrapped around stakes and plant stem for support and should be loose enough to allow plant to move to encourage strong stem development.

**Planting** Plants are to be supplied true to type, free from disease, pests and in a vigorous, well-developed condition without being root bound. Species chosen to be suitable for local climate conditions. Refer to Landscape Plan for location and spacing. All plants are to receive *Osmocote 9 months Slow Release* fertilizer applied according to manufacturer's recommended rates. All trees, shrubs and groundcovers are to receive Water Storage Crystals to the root zone area at planting time according to manufacturer's application rates. Trees are to be staked as indicated. All plants to be planted in holes twice the size of the pot. Base of plant trunk/stem to be installed level with surface of ground level. All holes for trees, plants and shrubs are to be flood watered before inserting plant into hole. All plants are also to be watered in their pots prior to planting and watered again 30 minutes after planting.

**Retaining Walls** Refer to manufacturer's instructions for construction of retaining walls and any details/specifications provided by engineers. Details on this plan are a guide only.

**Garden Edging** All gardens are to have edging installed and be installed as per plan. Garden edging shall be either 1) steel edging secured with stakes 2) treated timber edging secured with inground timber stakes or 3) 'Haven' Brick Edging or similar brick laid on 50mm thick bed of mortar.

**Irrigation** Irrigation timers programmed to suit seasonal conditions. It is recommended that garden beds are irrigated with timed dripper systems.

**Completion** Any unused bricks, concrete blocks or timber should be reused on site where possible or recycled at a local waste management facility. Site is to be cleared of any surplus materials and debris prior to completion. Work is to be completed to the satisfaction of Council's guidelines and any D.A. conditions.

**Maintenance Period** A 12 month maintenance period from the date of practical completion will apply. During this time the contractors are responsible for rectifying any defective structural work as per contract conditions and building regulations. Owner is responsible for rectifying any other defective work. During the maintenance period the following activities are to be undertaken:

**a) Replacements** Any plants/trees that have died shall be replaced with the same species and size as indicated on plan with specimens in good health and free from pests and disease. Areas of lawn that have yellowed or died should be replaced with same species turf specified in plan.

**b) Watering** Establishing plants requires watering once a day for the first week and then twice a week for the first two months and during dry periods. Less frequent watering is required after plant establishment and periods of rain. Water lawn according to supplier recommendations. Do not allow lawn to dry out in first 14 days of installation. Owner/Contractor should use their discretion.

**c) Weeding** Garden bed and lawn areas should be weeded regularly to prevent weed establishment and spread. No bare soil should be visible in garden beds. Mulch in beds should be topped up when required.

**d) Pruning** Adequate agricultural methods are to be used as necessary. Hedges are to be trimmed to maintain height specified on plant list. Lightly prune shrubs to promote dense growth. Dead/damaged limbs should be removed.

**e) Lawn care** Lawn areas shall be mown regularly at a rate of at least once a week during growth periods to promote thick lawn. Lawn clippings are not to be spread on garden beds.

**e) Fertilising** Apply slow-release fertiliser such as Osmocote to garden beds during growth periods in Spring and mid-to late summer using a quality organic fertiliser as per manufacturer's specified rates and instructions. Take care to use only low-phosphorus native fertilisers such as when feeding Australian native plant species. Never fertilise dry/water-stressed plants to avoid burning the roots and shocking the plant.

## PLANT SCHEDULE

ID	Qty	Botanical Name	Common Name	Native / Exotic	Mature Height	Mature Spread	Pot Size
<b>Trees</b>							
Mglg	2	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	Exotic	5m	3m	45LTR
Pycc	2	Pyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	Exotic	11m	6m	75LTR
Tll	2	Tristaniopsis laurina 'Luscious'	Water Gum	Native	5 - 10m	3.5 - 6m	45LTR
<b>Shrubs</b>							
Dovp	1	Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	Native	3 m	2m	200MM
Wefr	5	Westringia fruticosa	Coastal Rosemary	Native	0.9 - 1.5m	0.9 - 1.2m	140MM
<b>Perennials</b>							
<b>Ground Covers</b>							
Ta	15	Trachelospermum asiaticum	Asian Jasmine	Exotic	0.3m	2m	140MM
<b>Grasses</b>							
Limu	66	Liriope muscari	Lilyturf	Exotic	0.0 - 0.3m	0.0 - 0.45m	140MM
Llta	16	Lomandra longifolia 'Tanika'	Spiny-head mat rush	Native	0.45 - 0.6m	0.6 - 0.9m	140MM
<b>Climbers</b>							
<b>Ferns</b>							
<b>Hedges</b>							
AcSm	20	Acmena smithii	Lillypilly 'Firescreen'	Native	4m	1.5m	200MM
Ascs	88	Acmena smithii 'Cherry Surprise'	Cherry Surprise Lilly Pilly	Native	1m	1m	200MM
<b>Palms-Cycads</b>							
<b>Cacti-Succulents</b>							
<b>Aquatic</b>							
<b>TOTAL</b>	<b>109</b>						



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info@newterrainlandscapedesign.com.au  
Phone: 0410 721 244

DRAFTED JW	SCALE 1:200 @ A3 0 1 2 3 4M 
SHEET 3 of 4	REFERENCE LP001

DESIGNED BY  
**JOE WIGDAHL**  
-DIPLOMA OF LANDSCAPE DESIGN  
-CERT. III HORTICULTURE

- GENERAL NOTES
- Do not scale from drawings.
  - See Architects drawings for site levels, setbacks and extent of cut and fill.
  - This plan shall be read in conjunction with the Hydraulic Engineers drawings.
  - All relevant Australian standards are to be adhered to.
  - Any structural items are to be installed as per the manufacturer/engineers specifications.
  - This plan is indicative only and not for construction purposes
  - BASIX commitments are to be adhered to.
  - No liability is accepted by these plans. Contractors are required to check all construction facts, figures and relevant information relevant to the softscape and hardscape works to be performed.
  - Refer to Arborist Report regarding existing trees.

SITE PERMEABLE CALCULATIONS		
LOT AREA	1117.8 sq m	
LANDSCAPED AREA TOTAL	562.934 sq m	50.36%

JOB NO.  
**24020**

DRAWING  
**PLANT LIST**

CLIENT  
**MITCHELL PARTRIDGE**

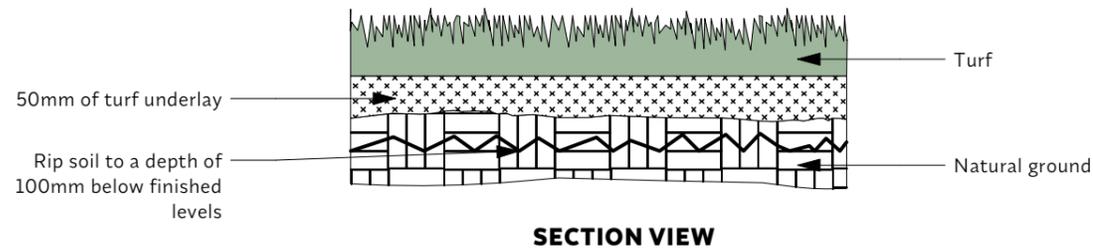
CLIENT SIGNATURES

ADDRESS **81 MARTINI PARADE  
LITHGOW NSW**

COUNCIL / LODGEMENT  
**LITHGOW**

REVISION SCHEDULE			
ISSUE	DESCRIPTION	BY	DATE
A	SUBMISSION PLAN	JW	17/09/24
B	BLDG REVISION	JW	29/11/24
C	Council REVISION	JW	26/05/25
D			
E			

# DETAILS

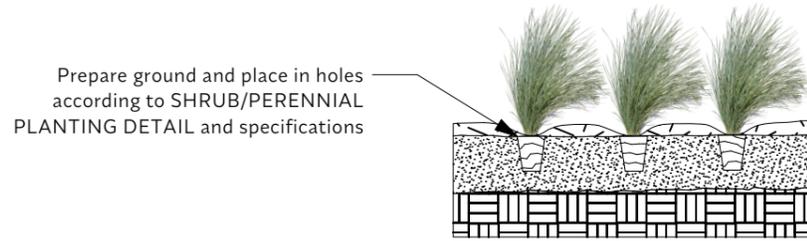


**SECTION VIEW**

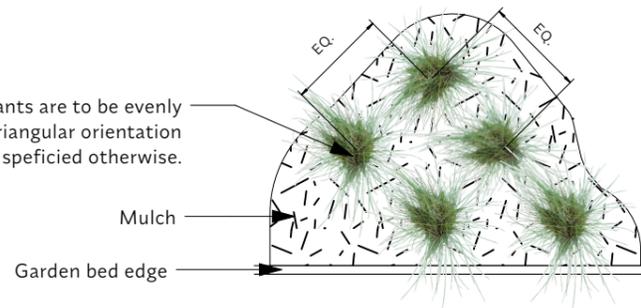
**DETAILS**

1. Turf rolls are to be in good health, free from pests and diseases and without holes.
2. Prepare ground according to specifications.
3. Apply water saving crystals to the prepared ground before laying turf.
4. Butt rolls closely together to avoid gaps and dieback
5. Water thoroughly after planting and regularly until established.

TURF LAYING DETAIL  
SCALE 1:25



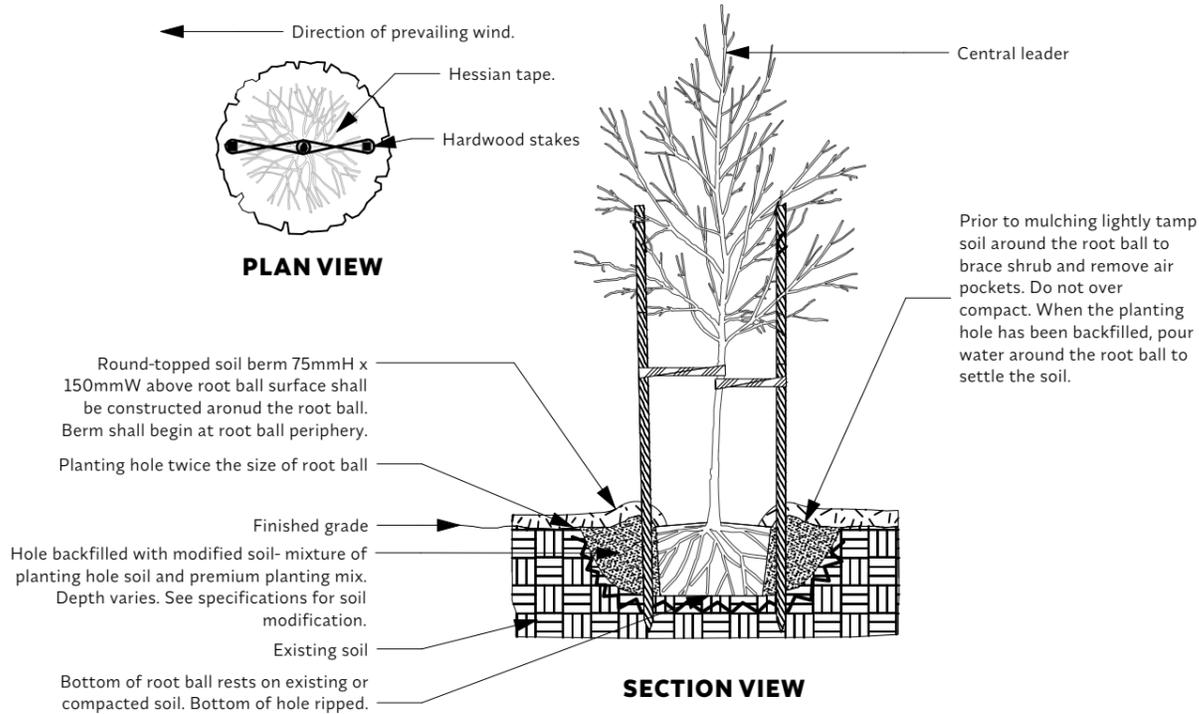
Groundcover plants are to be evenly spaced in a triangular orientation unless specified otherwise.



**DETAILS**

1. See plan for species, size, quantities and positioning
2. Gently loosen roots if required before planting
3. Fill hole with water and allow to drain before placing plant in hole
4. Water plant after placing in hole and replacing soil
5. Refer to plan for plant placements, spacing and quantities

MASS PLANTING DETAIL  
SCALE 1:40



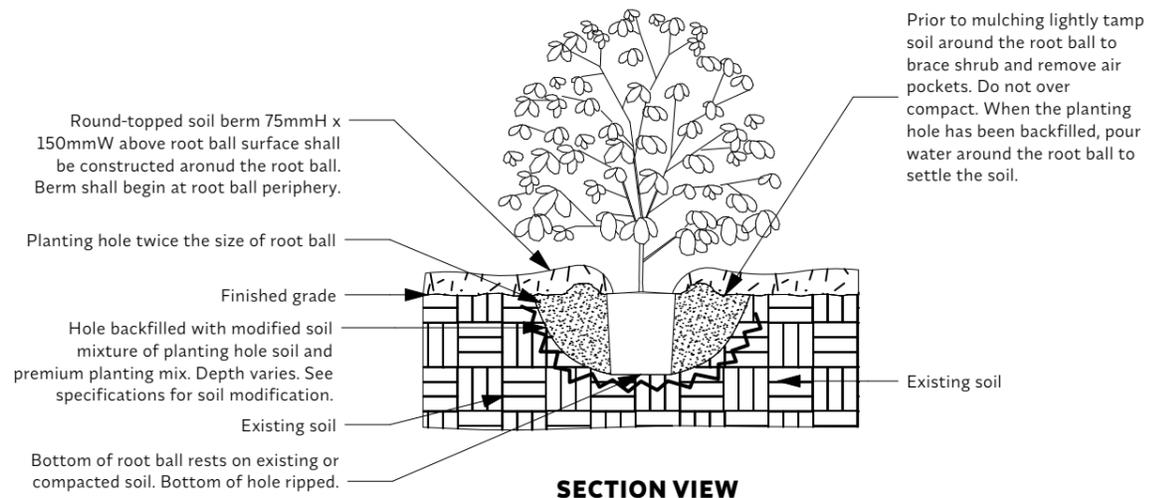
**PLAN VIEW**

**SECTION VIEW**

**DETAILS**

1. Trees shall be of good quality, healthy and free from pests and diseases
2. Gently loosen roots if required before planting
3. Fill hole with water and allow to drain before placing plant in hole.
4. Water plant after placing in hole and replacing soil.
5. Refer to plan for plant placements, spacing and quantities

TREE PLANTING DETAIL  
SCALE 1:40



**SECTION VIEW**

**DETAILS**

1. Shrubs shall be of good quality, healthy and free from pests and diseases
2. Gently loosen roots if required before planting
3. Fill hole with water and allow to drain before placing plant in hole.
4. Water plant after placing in hole and replacing soil.
5. Refer to plan for plant placements, spacing and quantities

SHRUB /PERENNIAL PLANTING DETAIL  
1:25



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DRAFTED JW	SCALE 1:200 @ A3 0 1 2 3 4M
SHEET 4 of 4	REFERENCE LP001

DESIGNED BY  
**JOE WIGDAHL**  
-DIPLOMA OF LANDSCAPE DESIGN  
-CERT. III HORTICULTURE

- GENERAL NOTES**
1. Do not scale from drawings.
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**SITE PERMEABLE CALCULATIONS**

LOT AREA	1117.8 sq m	
LANDSCAPED AREA TOTAL	562.934 sq m	50.36%

JOB NO.  
**24020**

DRAWING  
**DETAILS**

CLIENT  
**MITCHELL PARTRIDGE**

CLIENT SIGNATURES

ADDRESS **81 MARTINI PARADE  
LITHGOW NSW**

COUNCIL / LODGEMENT  
**LITHGOW**

**REVISION SCHEDULE**

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DESIGNED BY  
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 -DIPLOMA OF LANDSCAPE DESIGN  
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**SITE PERMEABLE CALCULATIONS**

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LANDSCAPED AREA TOTAL	562.934 sq m	50.36%

JOB NO.  
**24020**

DRAWING  
**DETAILS 2**

CLIENT  
**MITCHELL PARTRIDGE**

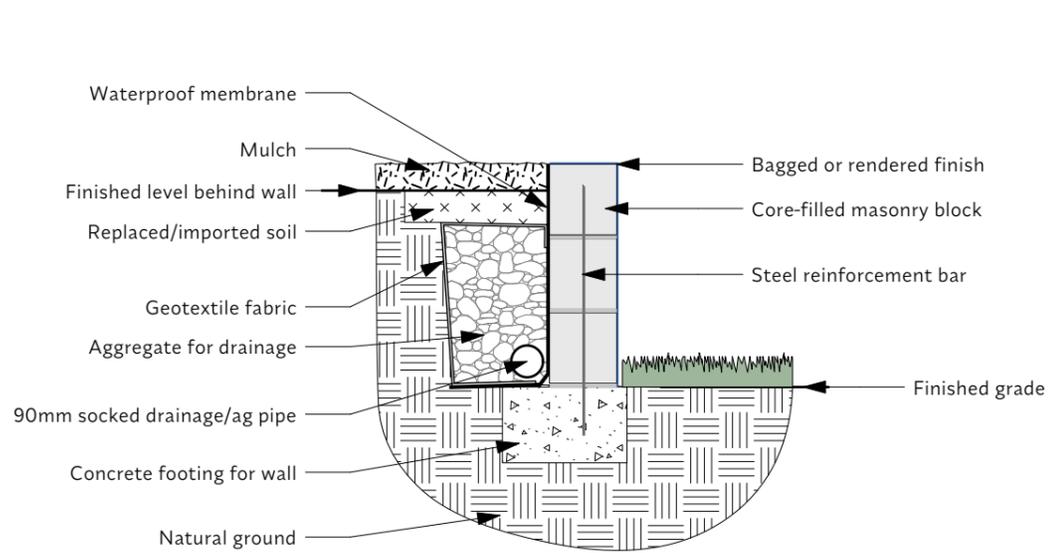
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COUNCIL / LODGEMENT  
**LITHGOW**

REVISION SCHEDULE

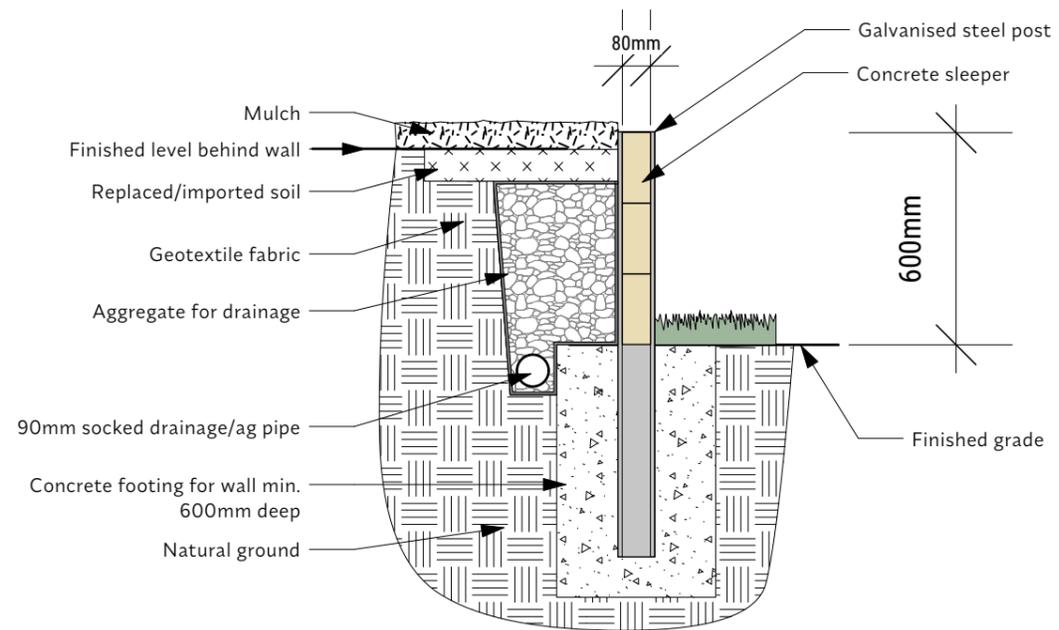
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**DETAILS**

- Refer to plant for heights.
- Refer to engineer's plans for walls over exempt and complying development heights.
- Ensure adequate drainage is behind wall
- Timber is to be free of knots and cracks

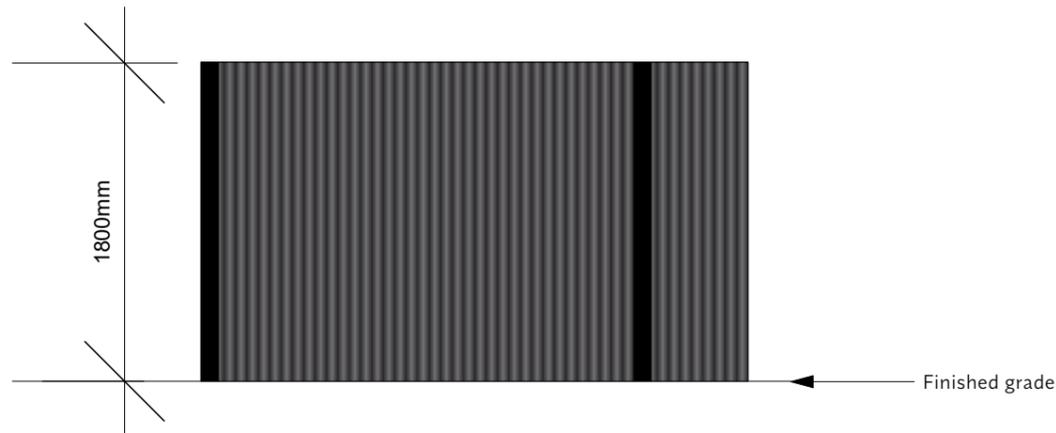
MASONRY RETAINING WALL DETAIL  
 SCALE 1:20



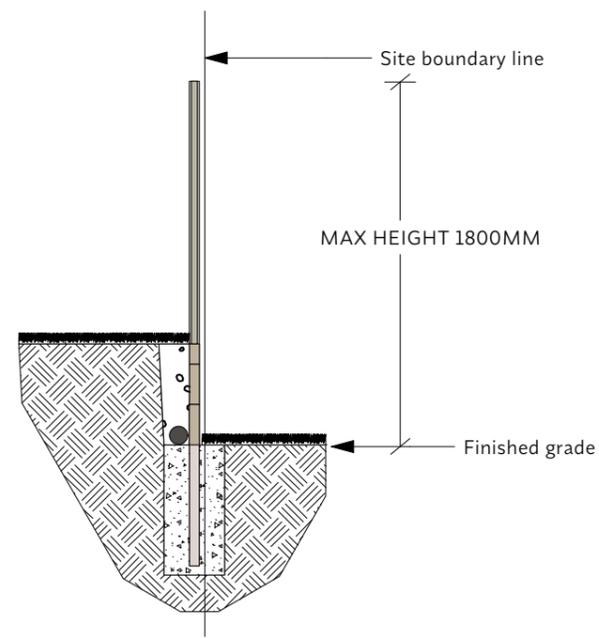
**DETAILS**

- Refer to plant for heights.
- Refer to engineer's plans for walls over exempt and complying development heights.
- Ensure adequate drainage is behind wall
- Timber is to be free of knots and cracks

CONCRETE SLEEPER RETAINING WALL DETAIL  
 SCALE 1:20



COLORBOND FENCE  
 SCALE 1:40



COLORBOND FENCE ON RETAINING WALL  
 NOT TO SCALE

# STORMWATER MANAGEMENT PLAN

## PROPOSED TOWNHOUSE DEVELOPMENT

### 81 MARTINI PARADE, LITHGOW NSW

#### GENERAL NOTES:

- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION. SILT FENCE IS TO BE ERRECTED PRIOR TO COMMENCING WORK. FENCE TO BE MAINTAINED IN WORKING ORDER DURING TIME OF CONSTRUCTION.
- W.A.E. DRAWING BY A REGISTERED SURVEYOR IS REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
- ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDER GROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- ALL TERRACE FLOOR & PLANTER GRATES TO HAVE FIRE COLLARS FITTED.
- ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANISED STEP IRONS AT 300mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS 4:198-1994.
- ALL LEVELS SHALL RELATE TO THE ESTABLISHED BENCH MARK.
- THE BASE OF ALL DRAINAGE PITS SHALL BE BENCH TO THE INVERT OF THE OULET PIPE.
- ALL GUTTERS SHALL BE MINIMUM 145 x 75mm AND DOWNPIPES SHALL BE MINIMUM 100 x 75mm UNLESS NOTED OTHERWISE.
- ALL STORMWATER DRAINAGE PIPES SHALL BE A MINIMUM Ø100mm PVC LAID AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE ON THE DRAWING. WHERE GROUND COVER OVER THE PIPES IS LESS THAN 300mm THE STORMWATER PIPES SHALL BE SEWER GRADE uPVC.
- THE BUILDER SHALL ENSURE THAT THE STORMWATER ENGINEERING DRAWINGS CORRESPOND TO THE ARCHITECTURAL, STRUCTURAL AND LANDSCAPE DRAWINGS.
- IF THERE EXISTS ANY DISCREPANCIES BETWEEN THE DRAWINGS THE BUILDER SHALL REPORT THE DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORKS.
- ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. PINE BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- ALL WORKS WITHIN THE FOOTPATH AREA SHALL BE SUITABLY BARRICADED AND SIGNPOSTED IN ACCORDANCE WITH A TRAFFIC MANAGEMENT PLAN THAT HAS BEEN PREPARED BY A QUALIFIED AND RMS ACCREDITED TRAFFIC ENGINEER AND APPROVED BY COUNCIL.
- IT IS THE RESPONSIBILITY OF THE BUILDER OR CONTRACTOR CARRYING OUT THE WORKS WITHIN THE FOOTPATH AREA AND ROAD RESERVE TO OBTAIN THE NECESSARY APPROVED DOCUMENTS AS OUTLINED ABOVE.
- ALL RETAINING WALLS SHALL BE CONSTRUCTED COMPLETELY WITHIN THE PROPERTY BOUNDARY LIMITS TO DETAILS PREPARED BY THE STRUCTURAL ENGINEER. WALLS FORMING THE ON SITE DETENTION SYSTEM SHALL BE OF MASONRY/BRICK CONSTRUCTION AND SHALL BE WATER TIGHT.
- ALL SUB-SOIL DRAINAGE SHALL BE A MINIMUM OF Ø65mm AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITES STORMWATER SYSTEM CONNECTS INTO THE COUNCIL'S KERB/DRAINAGE SYSTEM MATCHES THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.

#### SERVICES NOTES:

- IT IS THE CONSTRUCTORS RESPONSIBILITY TO NOTIFY THE RELEVANT SERVICES AUTHORITIES OF THE WORKS AND VERIFY THE LOCATION OF ALL EXISTING SERVICES PRIOR TO ANY CONSTRUCTION ACTIVITIES COMMENCING.
- THE CONSTRUCTOR SHALL LIAISE AND COORDINATE THE TIMING OF THE CONSTRUCTION OF THE WORKS WITH THE RELEVANT SERVICES AUTHORITIES AND/OR OTHER CONSTRUCTORS INSTALLING SERVICES CONCURRENTLY AT THIS SITE.
- THE LOCATION OF ALL EXISTING SERVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY AND HAVE BEEN TAKEN FROM INFORMATION PROVIDED BY THE RELEVANT SERVICE AUTHORITIES.
- THE CONSTRUCTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED TO EXISTING SERVICES AS A RESULT OF THE CONSTRUCTION WORKS.
- THE COORDINATION OF TELECOMMUNICATIONS, ELECTRICAL, GAS, WATER, SEWER, STORMWATER AND ANY OTHER SERVICE SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTOR.

#### BOX GUTTER NOTES:

- ALL BOX GUTTERS TO HAVE A MINIMUM UNIFORM SLOPE OF 0.5% OVER THE ENTIRE GUTTER LENGTH U.N.O.
- PLUMBER/BUILDER IS TO ENSURE THAT ALL EMERGENCY OVERFLOW PROVISIONS DETAILED ARE IMPLEMENTED IN ACCORDANCE WITH THE APPROVED PLANS AS WELL AS ADDITIONAL MEASURES WHERE DEEMED NECESSARY ON SITE.
- BOX GUTTER WIDTH AND DEPTH SHOWN ON THIS PLAN ARE THE MINIMUM ALLOWABLE DIMENSIONS AT THE UPSTREAM END/CREST OF GUTTER U.N.O.
- ALL RESIDENTIAL BOX GUTTERS TO HAVE A MINIMUM WIDTH OF 200MM

#### LEGEND:

- |     |                      |     |                     |
|-----|----------------------|-----|---------------------|
| --- | PROPOSED PIEWORK     | --- | PROPOSED PUMP RISER |
| --- | PROPOSED AG. LINE    | --- | PROPOSED LEVEL      |
| --- | SILT FENCE           | --- | ROOF / SURFACE FALL |
| --- | DOWNPIPE             | --- | Ø100 FLOOR GRATE    |
| --- | EXISTING LEVEL       | --- | SPS FLOOR GRATE     |
| --- | PROPOSED LEVEL       | --- | PLANTER GRATE       |
| --- | EXISTING LEVEL       | --- | GRATED DRAIN        |
| --- | PROPOSED LEVEL       | --- | SURFACE INLET PIT   |
| --- | SEEALED JUNCTION PIT | --- | CLEANING EYE        |
- 
- |            |               |
|------------|---------------|
| PIT P1     | PIT NO.       |
| 450x450    | PIT SIZE      |
| S.L. 10.45 | SURFACE LEVEL |
| LL. 10.00  | INVERT LEVEL  |
- 
- |            |                  |
|------------|------------------|
| GDI        | GRATED DRAIN NO. |
| 200x100    | WIDTH & DEPTH    |
| S.L. 10.45 | SURFACE LEVEL    |
| LL. 10.00  | PIPE INV. LEVEL  |
- 
- |     |                             |
|-----|-----------------------------|
| FFL | denotes FINISHED FLOOR LVL  |
| FGL | denotes FINISHED GARAGE LVL |
| SL  | denotes SURFACE LEVEL       |
| IL  | denotes PIT/PIPE INVERT     |
| CL  | denotes ORIFICE CENTERLINE  |
| TK  | denotes TOP OF KERB         |
| GI  | denotes GUTTER INVERT       |
| LIP | denotes LIP LINE            |
| LB  | denotes LAY BACK            |
| BP  | denotes BACK OF PATH        |
| FP  | denotes FRONT OF PATH       |
| BDY | denotes BOUNDARY            |
| EB  | denotes EDGE OF BITUMEN     |
| CR  | denotes CENTRELINE          |
| PP  | denotes POWER POLE          |
| SC  | denotes SAW CUT             |

#### RAINWATER TANK NOTES:

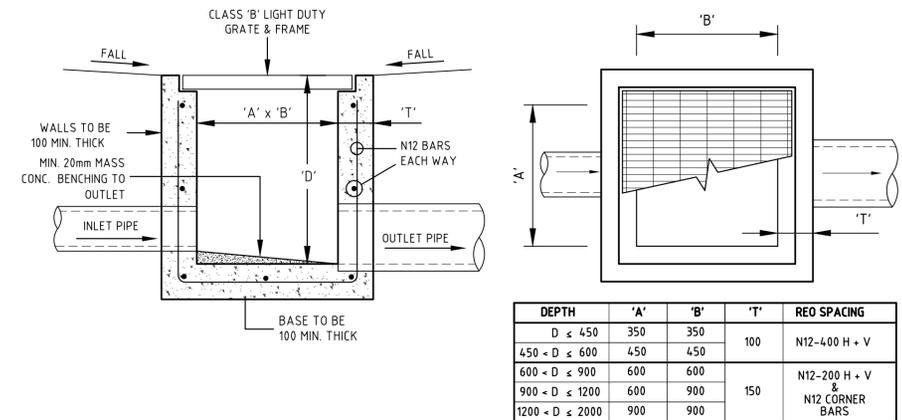
- LABELS SHALL BE FIXED ADJACENT TO ALL OUTDOOR WATERING TAPS STATING THAT THE WATER IS NOT TO BE CONSUMED.
- AN EMERGENCY MAINS TAP SHALL BE PROVIDED ADJACENT TO THE WATER METER AND CONNECTED TO THE MAINS SUPPLY
- RAINWATER TANK SUPPLY SHALL NOT BE CONNECTED TO DRINKING AND BATHING WATER TAP OUTLETS.
- FIRST FLUSH DEVICES TO BE FITTED TO ALL DOWNPIPES CONNECTED TO RAINWATER TANK.
- TANK SHALL BE CONNECTED TO A SYDNEY WATER APPROVED CONTROL PANEL TO ENSURE MAINS WATER SUPPLY IS PROVIDED WHEN TANK EMPTIES.
- ALL PIPES WITHIN CHARGED RAINWATER COLLECTION SYSTEM TO BE MIN. Ø100 uPVC AND ALL JOINTS SOLVENT WELDED.
- ALL PLUMBING WORKS SHALL BE CARRIED OUT BY A LICENSED PLUMBER IN ACCORDANCE WITH SYDNEY WATER GUIDELINES AND THE "NSW CODE OF PRACTICE: PLUMBING & DRAINAGE".

#### SEDIMENT & EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH COUNCIL'S STANDARDS AND THE DEPARTMENT OF HOUSING'S "MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION" MANUAL.
- NO CONSTRUCTION WORKS ARE TO COMMENCE ON SITE UNTIL ALL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND HAVE BEEN INSPECTED AND APPROVED BY THE PRINCIPAL CERTIFYING AUTHORITY.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REGULARLY INSPECTED, IN PARTICULAR AFTER STORMS, AND REPAIRED OR MAINTAINED AS REQUIRED TO ENSURE THE MEASURES' CORRECT AND EFFICIENT FUNCTION THROUGHOUT THE DURATION OF THE WORKS, UNTIL SUCH TIME AS THE PRINCIPAL CERTIFYING AUTHORITY AUTHORIZES THE REMOVAL OF SUCH MEASURES.
- ALL STOCKPILES SHALL BE CLEAR OF ALL TREES AND DRAINAGE LINES (INCLUDING OVERLAND FLOW PATHS) AND PROTECTED FROM EROSION.
- DUST CONTROL MEASURES SHALL BE IMPLEMENTED CONTINUOUSLY DURING CONSTRUCTION
- ALL AREAS OF THE SITE DISTURBED AND GRADED SHALL BE REVEGETATED AS SOON AS CONSTRUCTION WORKS HAVE BEEN COMPLETED.

#### SUSPENDED DRAINAGE NOTES:

- ALL SUSPENDED DRAINAGE LINES TO BE SEWER GRADE uPVC U.N.O.
- ALL LINES SHALL BE SOLVENT WELDED AND PRESSURE TESTED IN ACCORDANCE WITH AS3500.3-2018 TO ENSURE WATERTIGHTNESS
- ALL SUSPENDED LINES SHALL BE SUPPORTED AT MAX. 1200 CENTERS WITH LIGHT DUTY FIXTURES IN ACCORDANCE WITH THE MANUFACTURERS TECHNICAL MANUAL
- WHERE NOTED, CHARGED LINES MUST BE SUPPORTED WITH HEAVY DUTY FIXTURES CAPABLE OF SUPPORTING THE WEIGHT OF A FULLY CHARGED LINE
- STORMWATER SHALL TAKE PRECEDENCE TO ALL NON-GRAVITY SERVICES, ANY SERVICE CLASHES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNING ENGINEER IMMEDIATELY



TYPICAL SURFACE INLET PIT DETAIL

SCALE: 1:10

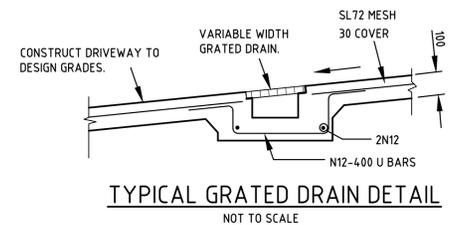


RAINWATER SIGN DETAIL

SCALE: 1:10

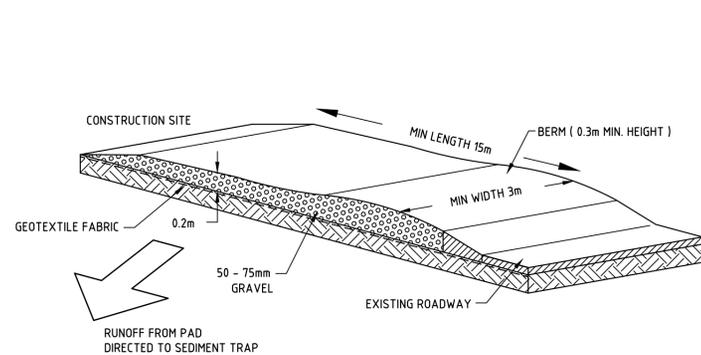
NOTES:-

- PROVIDE WARNING SIGN IN ACCORDANCE WITH AS 1319 IN A CLEAR AND VISIBLE LOCATION AT ALL RAINWATER SUPPLY POINTS
- BACKGROUND IS YELLOW TEXT IS WHITE ON BLACK BACKGROUND



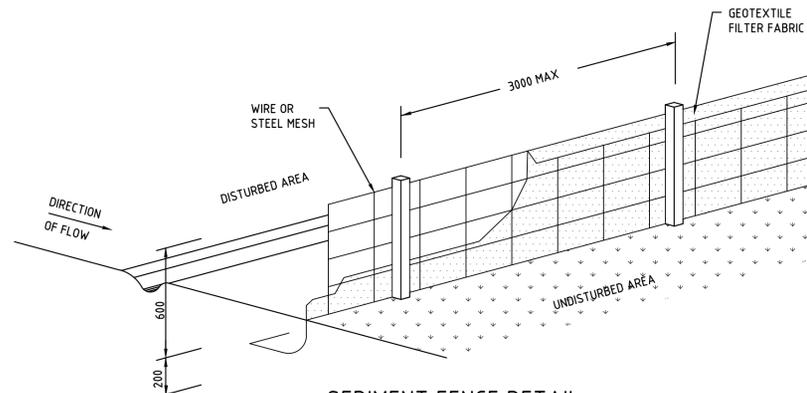
TYPICAL GRATED DRAIN DETAIL

NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE/EXIT DETAIL

NOT TO SCALE



SEDIMENT FENCE DETAIL

NOT TO SCALE

DANGER

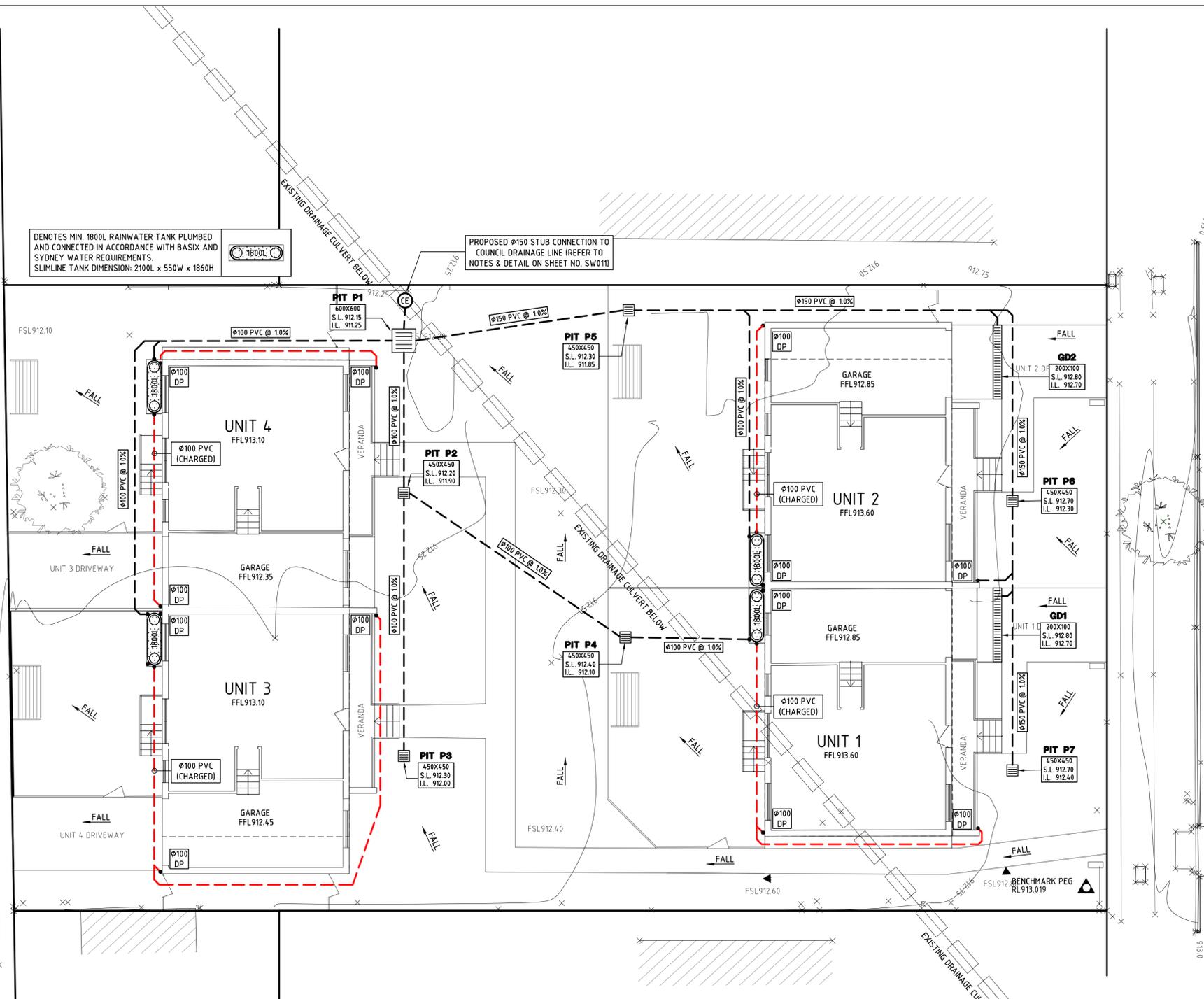
SERVICES ARE SHOWN INDICATIVLY ONLY.

ALL SERVICES MUST BE LOCATED PRIOR TO ANY EXCAVATION WITHIN SITE, FOOTPATH OR ROADWAY

FOR MORE INFORMATION CONTACT DIAL BEFORE YOU DIG ON PH. '1100' OR [www.1100.com.au](http://www.1100.com.au)

SCALE BAR 1:100		<b>M   J   W</b>		<b>CIVIL &amp; STORMWATER CONSULTING ENGINEERS</b>	
		Office: 21 Greens Avenue Ostlands NSW 2117 Phone: 02 8320 0502 Online: <a href="http://www.mjwcivil.com.au">www.mjwcivil.com.au</a> Email: <a href="mailto:info@mjwcivil.com.au">info@mjwcivil.com.au</a>			
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B	AMENDED TO SUIT REVISED ARCHITECTURAL LAYOUT		M/JW	16/01/2025	
A	ISSUED FOR COUNCIL APPROVAL		M/JW	08/10/2024	
ISSUE	DESCRIPTION	BY	DATE		
PROJECT					
PROPOSED TOWNHOUSE DEVELOPMENT 81 MARTINI PARADE LITHGOW NSW					
DRAWING TITLE					
STORMWATER LAYOUT PLAN TITLE PAGE, NOTES & DETAILS					
<b>ISSUED FOR COUNCIL APPROVAL</b>					
CHECKED AND APPROVED BY:		Date:			
Signature:		Date:			
<i>Matthew J. Wahbe</i>		14/01/2025			
MATHIEW J. WAHBE		DIRECTOR - B.E.Hons (CIVIL) MIEAust No. 6163505			
DESIGNED	M/JW	JOB NUMBER	1110-DA	ISSUE	B
CHECKED	M/JW	SHEET NUMBER	SW001		
DATUM	AHD				
SCALE	1:100				A1

SITE IS HEAVILY FLOOD-AFFECTED & ON-SITE DETENTION/RETENTION WILL NOT PROVIDE ANY BENEFIT.



DENOTES MIN. 1800L RAINWATER TANK PLUMBED AND CONNECTED IN ACCORDANCE WITH BASIX AND SYDNEY WATER REQUIREMENTS. SLIMLINE TANK DIMENSION: 2100L x 550W x 1860H

PROPOSED Ø150 STUB CONNECTION TO COUNCIL DRAINAGE LINE (REFER TO NOTES & DETAIL ON SHEET NO. SW011)

**GENERAL NOTES:**

- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION. SILT FENCE IS TO BE ERECTED PRIOR TO COMMENCING WORK. FENCE TO BE MAINTAINED IN WORKING ORDER DURING TIME OF CONSTRUCTION.
- W.A.E. DRAWING BY A REGISTERED SURVEYOR IS REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
- ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDER GROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- ALL TERRACE FLOOR & PLANTER GRATES TO HAVE FIRE COLLARS FITTED.
- ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANISED STEP IRONS AT 300mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS 4198-1994.
- ALL LEVELS SHALL RELATE TO THE ESTABLISHED BENCH MARK.
- THE BASE OF ALL DRAINAGE PITS SHALL BE BENCHMARKED TO THE INVERT OF THE OULET PIPE.
- ALL GUTTERS SHALL BE MINIMUM 100 x 75mm AND DOWNPIPES SHALL BE MINIMUM 100 x 75mm UNLESS NOTED OTHERWISE.
- ALL STORMWATER DRAINAGE PIPES SHALL BE A MINIMUM Ø100mm PVC LAID AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE ON THE DRAWING. WHERE GROUND COVER OVER THE PIPES IS LESS THAN 300mm THE STORMWATER PIPES SHALL BE SEWER GRADE UPVC.
- THE BUILDER SHALL ENSURE THAT THE STORMWATER ENGINEERING DRAWINGS CORRESPOND TO THE ARCHITECTURAL, STRUCTURAL AND LANDSCAPE DRAWINGS.
- IF THERE EXISTS ANY DISCREPANCIES BETWEEN THE DRAWINGS THE BUILDER SHALL REPORT THE DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORKS.
- ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. PINE BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- ALL WORKS WITHIN THE FOOTPATH AREA SHALL BE SUITABLY BARRICADED AND SIGNPOSTED IN ACCORDANCE WITH A TRAFFIC MANAGEMENT PLAN THAT HAS BEEN PREPARED BY A QUALIFIED AND RMS ACCREDITED TRAFFIC ENGINEER AND APPROVED BY COUNCIL.
- IT IS THE RESPONSIBILITY OF THE BUILDER OR CONTRACTOR CARRYING OUT THE WORKS WITHIN THE FOOTPATH AREA AND ROAD RESERVE TO OBTAIN THE NECESSARY APPROVED DOCUMENTS AS OUTLINED ABOVE.

**LEGEND:**

- PROPOSED PIEWORK
  - x - SILT FENCE
  - x 13.88 EXISTING LEVEL
  - x 13.88 PROPOSED LEVEL
  - FALL / SURFACE FALL
  - SURFACE INLET PIT
  - SEALED JUNCTION PIT
  - CLEANING EYE
- PIT P1**
- PIT NO.
  - PIT SIZE
  - SURFACE LEVEL
  - INVERT LEVEL

**STORMWATER LAYOUT PLAN  
GROUND FLOOR LEVEL**

SCALE 1:100

SCALE BAR 1:100

**MJW CIVIL & STORMWATER CONSULTING ENGINEERS**  
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ISSUE	DESCRIPTION	BY	DATE
B	AMENDED TO SUIT REVISED ARCHITECTURAL LAYOUT	MJW	14/01/2025
A	ISSUED FOR COUNCIL APPROVAL	MJW	08/10/2024

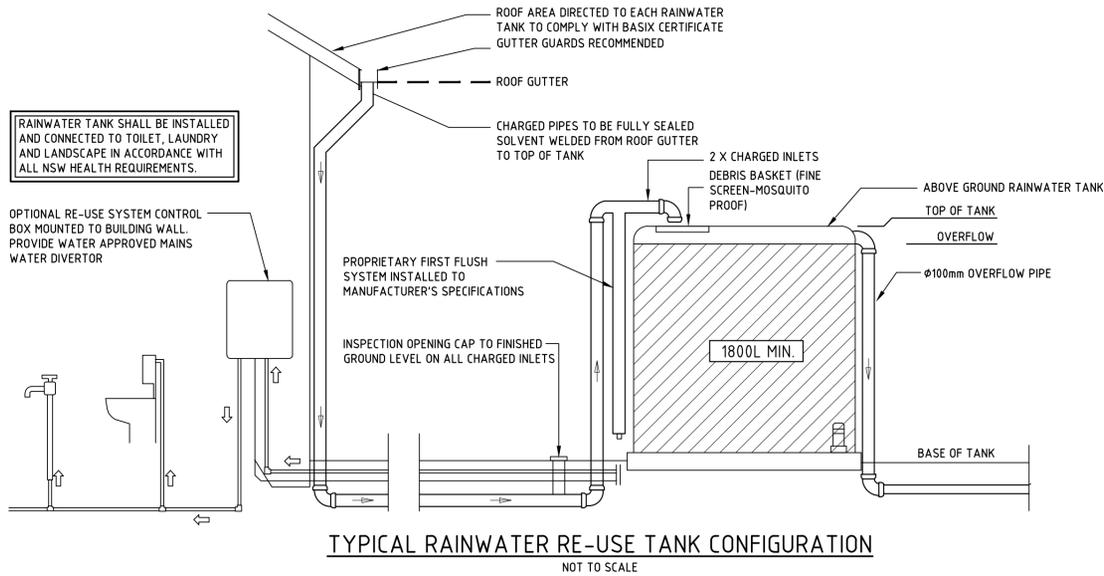
PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT  
 81 MARTINI PARADE  
 LITHGOW NSW**

DRAWING TITLE  
**STORMWATER LAYOUT PLAN  
 GROUND FLOOR PLAN, NOTES & DETAILS**

**ISSUED FOR COUNCIL APPROVAL**

CHECKED AND APPROVED BY:  
 Signature: *Mathew J. Wahbe* Date: 14/01/2025  
 MATHREW J. WAHBE  
 DIRECTOR - B.E.Hons (CIVIL) MIEAust NO. 6163505

DESIGNED	MJW	JOB NUMBER <b>1110-DA</b>	ISSUE <b>B</b>
CHECKED	MJW		
DATUM	AHD	SHEET NUMBER <b>SW010</b>	A1
SCALE	1:100		



Constituent	Existing		Developed		OK?
	Residual Load	TTE (%)	Residual Load	TTE (%)	
Q (ML/yr)	0.27	0.0	0.27	24.4	✓
Total Suspended Solids (TSS) (%)	19.02	0.0	4.39	76.7	✓
Total Phosphorus (TP) (%)	0.05	0.0	0.03	52.9	✓
Total Nitrogen (TN) (%)	0.52	0.0	0.42	39.5	✓
Gross Pollutants (GP) (%)	0.00	0.0	0.00	0.0	✓

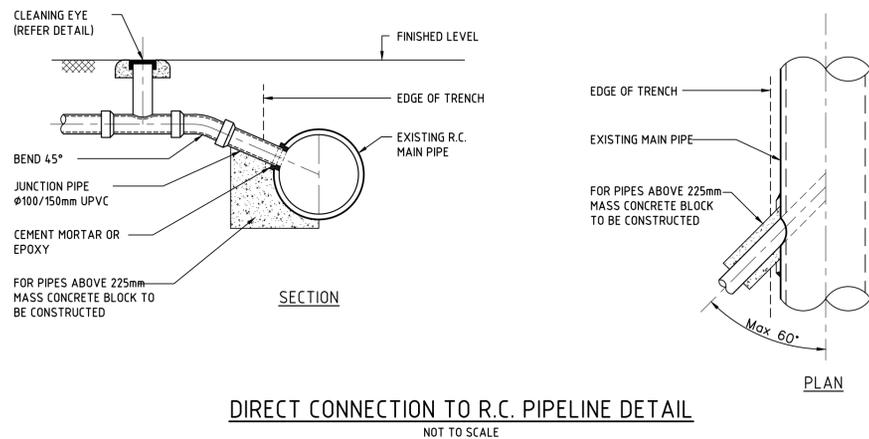
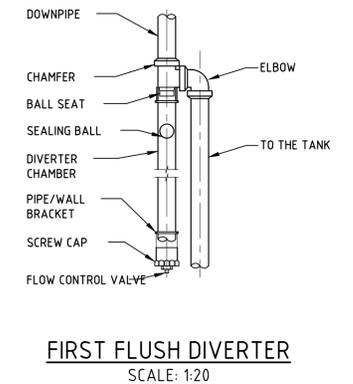
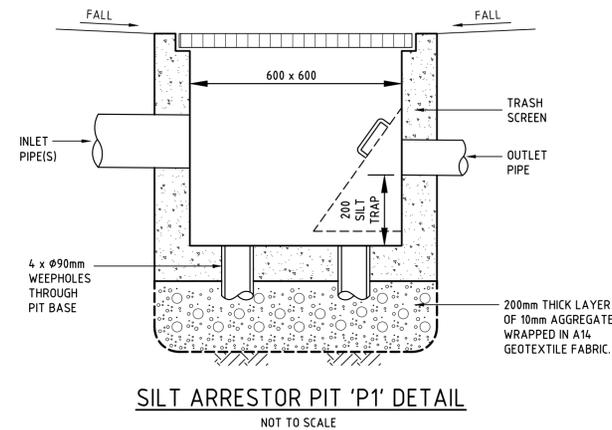
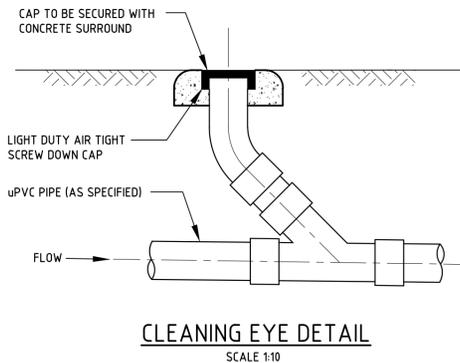
**WATER NSW NoB E ANALYSIS**  
REFER TO S3QM CERTIFICATE DATED 08.10.2024

**RAINWATER TANK NOTES:**

1. LABELS SHALL BE FIXED ADJACENT TO ALL OUTDOOR WATERING TAPS STATING THAT THE WATER IS NOT TO BE CONSUMED.
2. AN EMERGENCY MAINS TAP SHALL BE PROVIDED ADJACENT TO THE WATER METER AND CONNECTED TO THE MAINS SUPPLY
3. RAINWATER TANK SUPPLY SHALL NOT BE CONNECTED TO DRINKING AND BATHING WATER TAP OUTLETS.
4. FIRST FLUSH DEVICES TO BE FITTED TO ALL DOWNPIPES CONNECTED TO RAINWATER TANK.
5. TANK SHALL BE CONNECTED TO A SYDNEY WATER APPROVED CONTROL PANEL TO ENSURE MAINS WATER SUPPLY IS PROVIDED WHEN TANK EMPTIES.
6. ALL PIPES WITH CHARGED RAINWATER COLLECTION SYSTEM TO BE MIN. Ø100 UPVC AND ALL JOINTS SOLVENT WELDED.
7. ALL PLUMBING WORKS SHALL BE CARRIED OUT BY A LICENSED PLUMBER IN ACCORDANCE WITH SYDNEY WATER GUIDELINES AND THE "NSW CODE OF PRACTICE- PLUMBING & DRAINAGE".

**SERVICES NOTES:**

1. IT IS THE CONSTRUCTORS RESPONSIBILITY TO NOTIFY THE RELEVANT SERVICES AUTHORITIES OF THE WORKS AND VERIFY THE LOCATION OF ALL EXISTING SERVICES PRIOR TO ANY CONSTRUCTION ACTIVITIES COMMENCING.
2. THE CONSTRUCTOR SHALL LIAISE AND COORDINATE THE TIMING OF THE CONSTRUCTION OF THE WORKS WITH THE RELEVANT SERVICES AUTHORITIES AND/OR OTHER CONSTRUCTORS INSTALLING SERVICES CONCURRENTLY AT THIS SITE.
3. THE LOCATION OF ALL EXISTING SERVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY AND HAVE BEEN TAKEN FROM INFORMATION PROVIDED BY THE RELEVANT SERVICE AUTHORITIES.
4. THE CONSTRUCTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED TO EXISTING SERVICES AS A RESULT OF THE CONSTRUCTION WORKS.
5. THE COORDINATION OF TELECOMMUNICATIONS, ELECTRICAL, GAS, WATER, SEWER, STORMWATER AND ANY OTHER SERVICE SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTOR.



**CONNECTION TO R.C. PIPE**

THE R.C. STORMWATER PIPE SHALL BE PIERCED BY A NEAT OPENING AS SHOWN TO ALLOW THE CONNECTION OF A SQUARE, SLOPED JUNCTION OR BEND WHICH SHALL NOT PROTRUDE BEYOND THE INNER SURFACE OF THE R.C. STORMWATER PIPE

THE INTERNAL JUNCTION SHALL BE SMOOTHLY FINISHED WITH 2:1 CEMENT MORTAR OR EPOXY CEMENT SO AS TO PRESENT NO OBSTRUCTION WITHIN THE INTERNAL SURFACE OF THE R.C. STORMWATER PIPE. THE LINE IS NOT TO EXTEND BEYOND POINT 1 UNTIL APPROVED BY COUNCIL.

THE HOLE IN COUNCIL'S PIPE IS TO BE FORMED BY CAREFUL DRILLING TO NEATLY ACCEPT THE OUTSIDE DIAMETER OF THE PIPE

ANY DAMAGE TO THE STRUCTURE OF COUNCIL'S PIPE IS TO BE MADE GOOD TO THE SATISFACTION OF COUNCIL'S ENGINEER, IF NECESSARY BY THE REPLACEMENT OF THE PIPE

PIPE FITTINGS ARE TO BE VITRIFIED CLAY OR SEWER QUALITY UPVC

COUNCIL PIPELINE IS TO BE LEFT FREE OF DROPPED CLAY, CONCRETE, MORTAR, ETC...

SCALE BAR 1:100

**MJW CIVIL & STORMWATER CONSULTING ENGINEERS**  
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B	AMENDED TO SUIT REVISED ARCHITECTURAL LAYOUT	MJW	14/01/2025
A	ISSUED FOR COUNCIL APPROVAL	MJW	08/10/2024

ISSUE	DESCRIPTION	BY	DATE

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
81 MARTINI PARADE  
LITHGOW NSW

DRAWING TITLE  
**STORMWATER LAYOUT PLAN**  
GROUND FLOOR PLAN, NOTES & DETAILS (CONT.)

ISSUED FOR COUNCIL APPROVAL	
CHECKED AND APPROVED BY: Signature: <i>Mathew J. Wahbe</i> MATHEW J. WAHBE DIRECTOR - B.E. Hons (CIVIL) MIEAust No. 6163505	Date: 14/01/2025

DESIGNED: MJW	JOB NUMBER <b>1110-DA</b>	ISSUE <b>B</b>
CHECKED: MJW		
DATUM: AHD	SHEET NUMBER <b>SW011</b>	A1
SCALE: 1:100		

