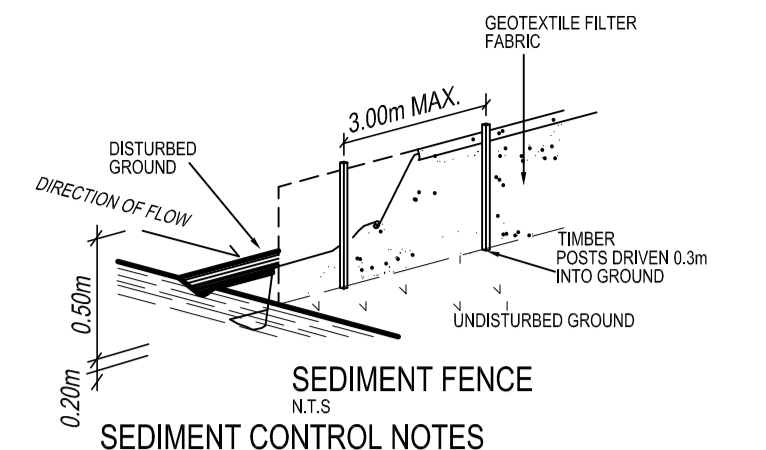
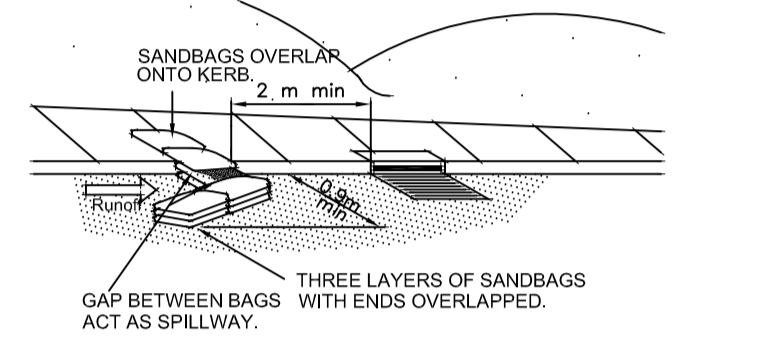


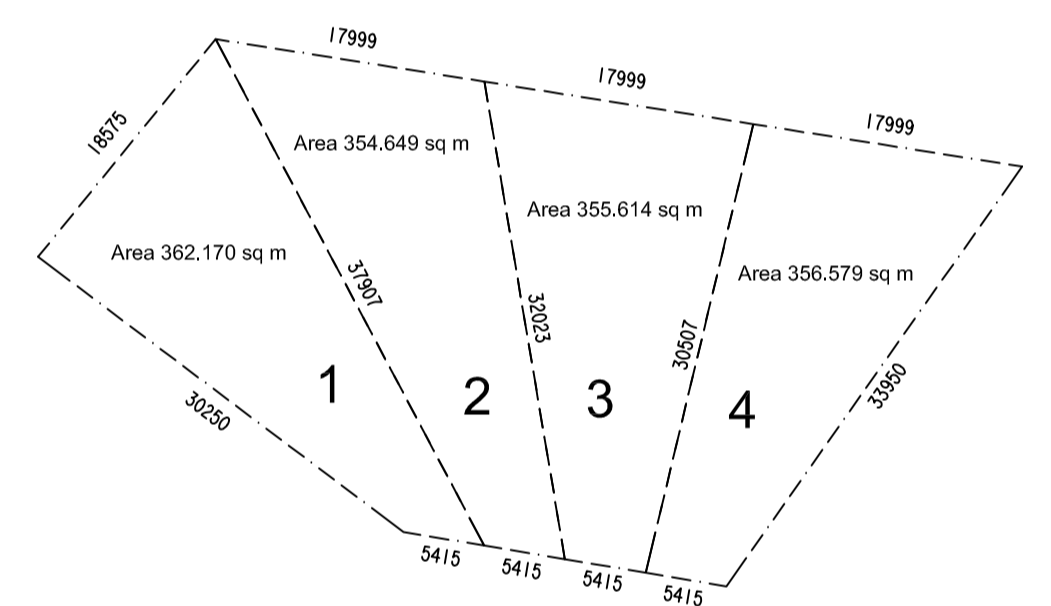
EXTENT OF GRADED BATTER SHOWN HATCHED
 REFER TO ENGINEER'S DETAILS
 GHA ENGINEERING dated 5th August 2019



- SEDIMENT CONTROL NOTES**
1. all erosion and sedimentation control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of new.
 2. all drainage works shall be constructed and stabilized as early as possible during development.
 3. sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.
 4. all sediment basins and traps shall be cleaned when the structures are a maximum of 60 % full of soil materials, including the maintenance period.
 5. all disturbed areas shall be revegetated as soon as the relevant works are completed.
 6. soil and topsoil stockpiles shall be located away from drainage lines and areas where water may concentrate.
 7. filter shall be constructed by stretching a filter fabric (propex or approved equivalent) between post at 3.0m centres, fabric shall be buried 150mm along its lower edge.

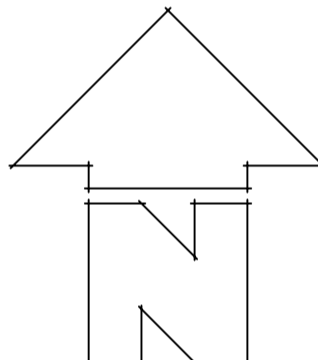


SANDBAG KERB INLET SEDIMENT TRAP
 SCALE: N.T.S.



TORRENS SUBDIVISION LAYOUT
 SCALE 1:500

SITE PLAN
 SCALE 1:100



TRUE NORTH +1.6 DEGREES
 GRID NORTH (MGA) +10.6 DEGREES
 MAGNETIC NORTH

CURA CLOSE

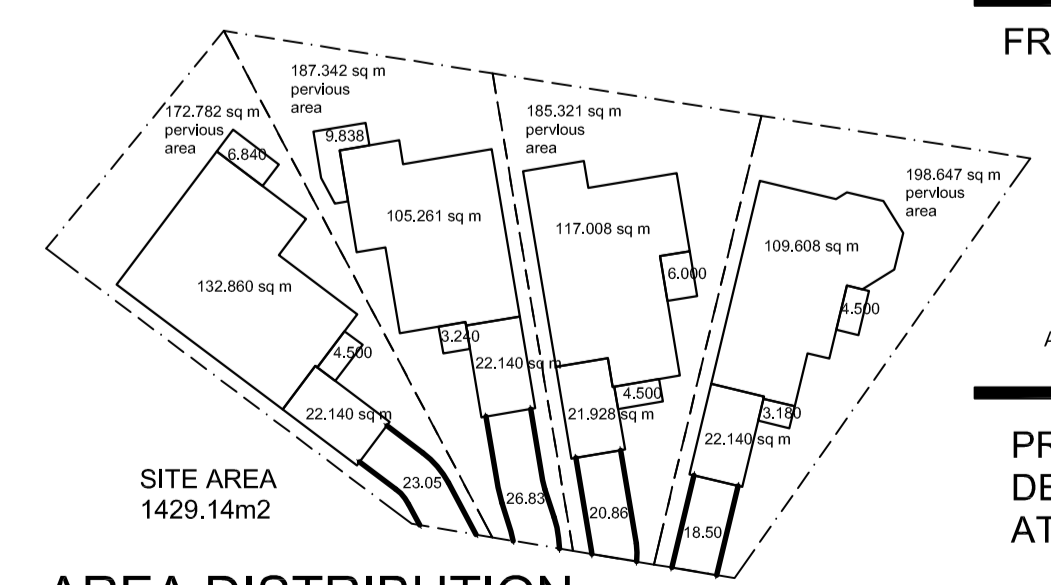
- EXTERNAL FINISHES**
- COLOURBONDED CORRUGATED METAL ROOFING
 - SELECTED FACE BRICKWORK
 - LIGHT COLOURED RENDERED BRICKWORK
 - DARK COLOURED RENDERED BRICKWORK
 - ALUMINIUM FRAMED DOORS AND WINDOWS
 - COLOURBONDED METAL ROLLER DOORS

ABBREVIATIONS:

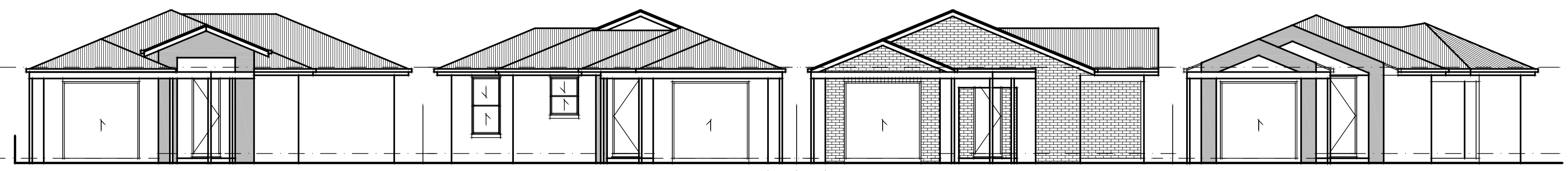
Not to scale	NTS	BTH	Bathub
Unless noted otherwise	UNO	SHR	Shower
Finished ceiling level	FCL	T	Toilet
Finished floor level	FFL	V	Vanity
Reduced level	RL	B	Basin
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Reinforced concrete	RC	TUB	Laundry tub
Fibrous cement	FC	WM	Washing machine
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Hot plate	HP	Robe	Wardrobe
Wall oven	WO	SD	Sliding door
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Dishwasher	DW	ASD	Aluminium sliding door
Stove	ST	ASW	Aluminium sliding window
Refrigerator	R	TAW	Timber awning window
Partry	P	TDH	Timber double hung window

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 ACCREDITED BUILDING DESIGNER #6080



AREA DISTRIBUTION
 SQUARE METRES

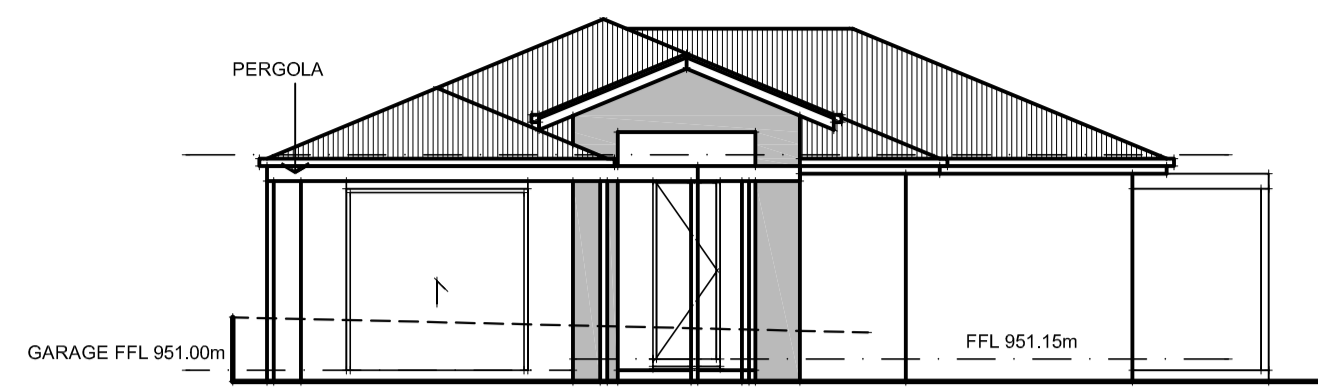


CURA CLOSE ELEVATION DIAGRAMMATIC VIEW

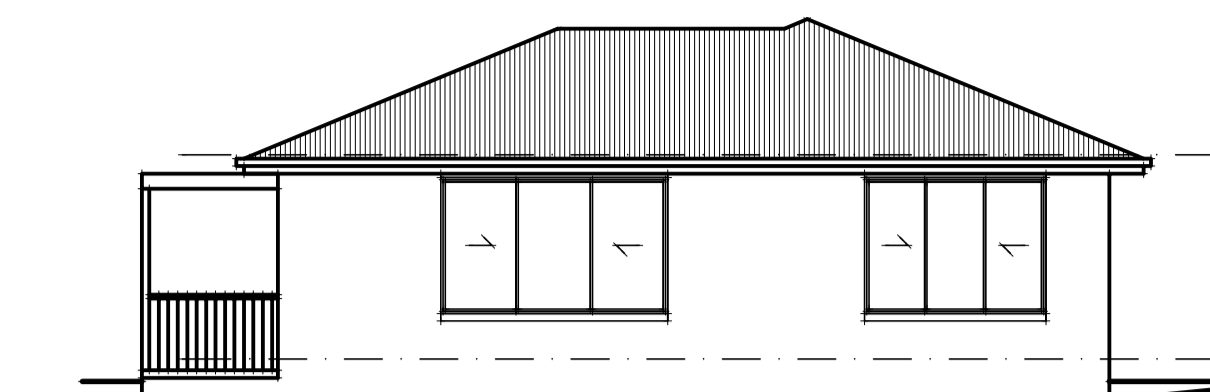
PROPOSED MULTI RESIDENTIAL DEVELOPMENT
 AT: LOT 6 CURA CLOSE LITHGOW
 FOR: GPM INVESTMENTS PTY LTD

Scale 1:100 UNO
 Drawn F. Kosztechnik
 Date 01-10-2019
 Job No. 2957

SHEET 1 ISSUE 1



CURA CLOSE (SOUTH) ELEVATION



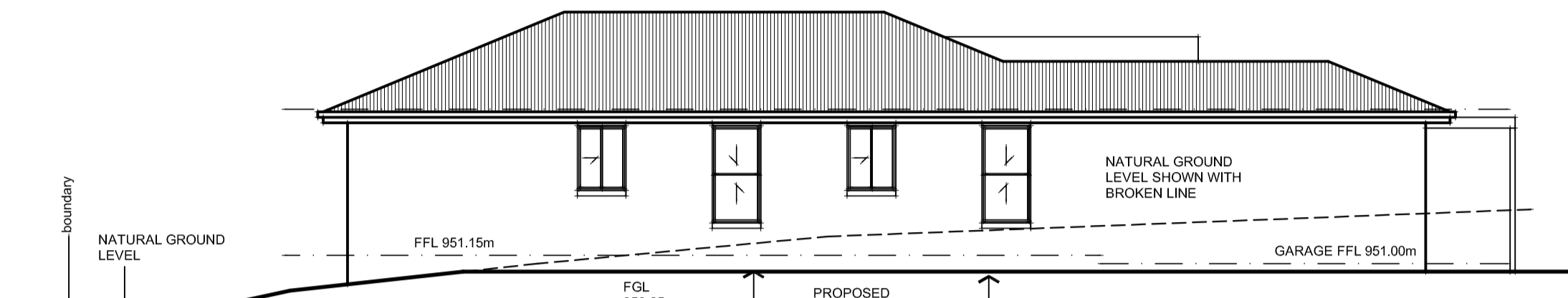
NORTH ELEVATION



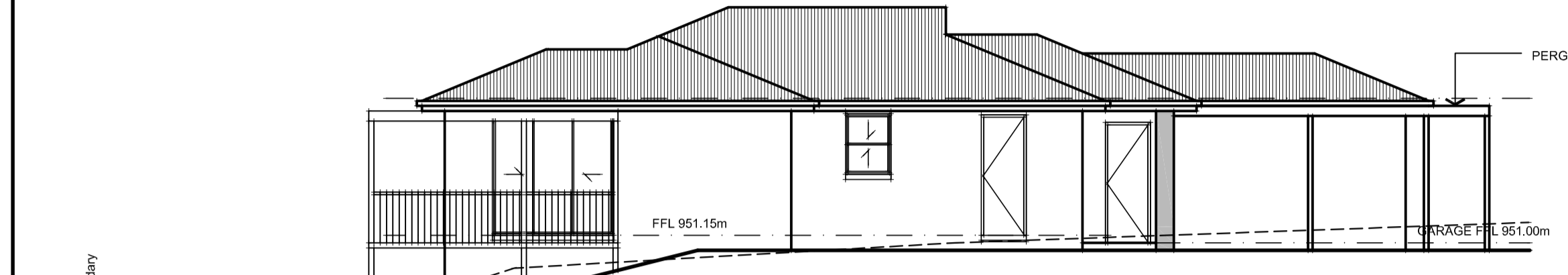
CURA CLOSE (SOUTH) ELEVATION



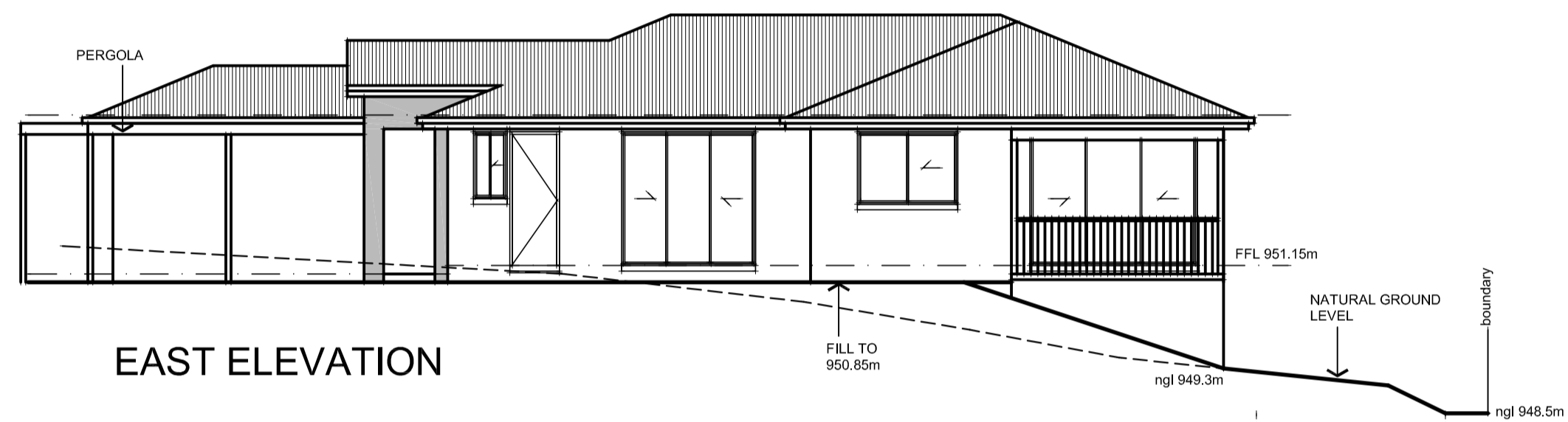
NORTH ELEVATION



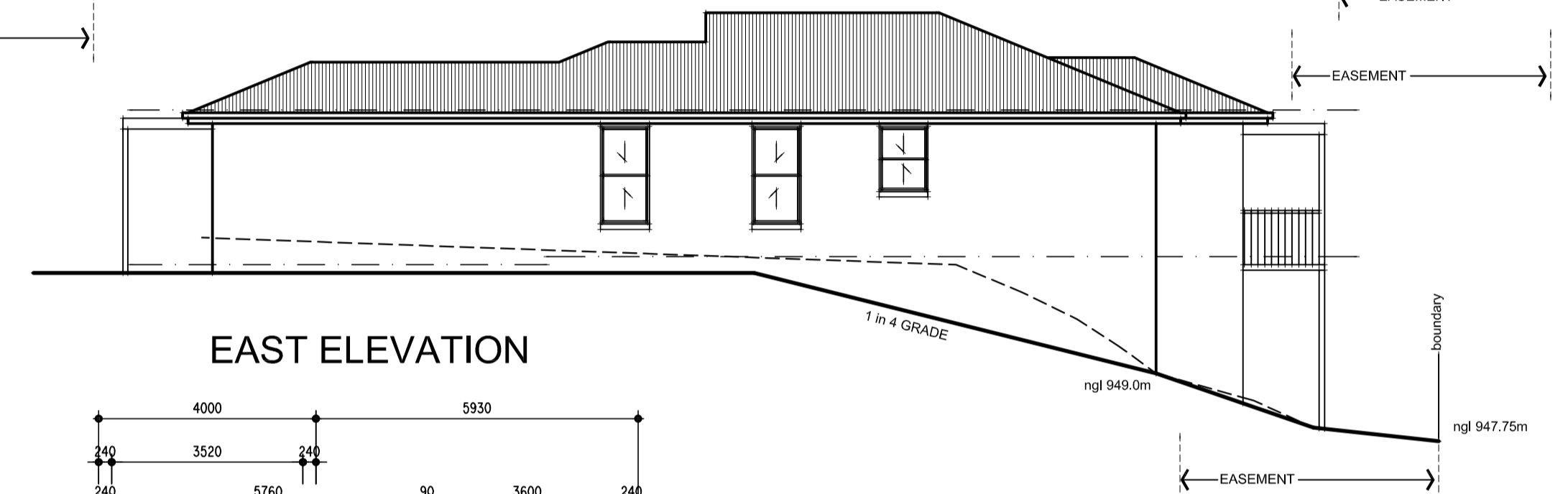
WEST ELEVATION



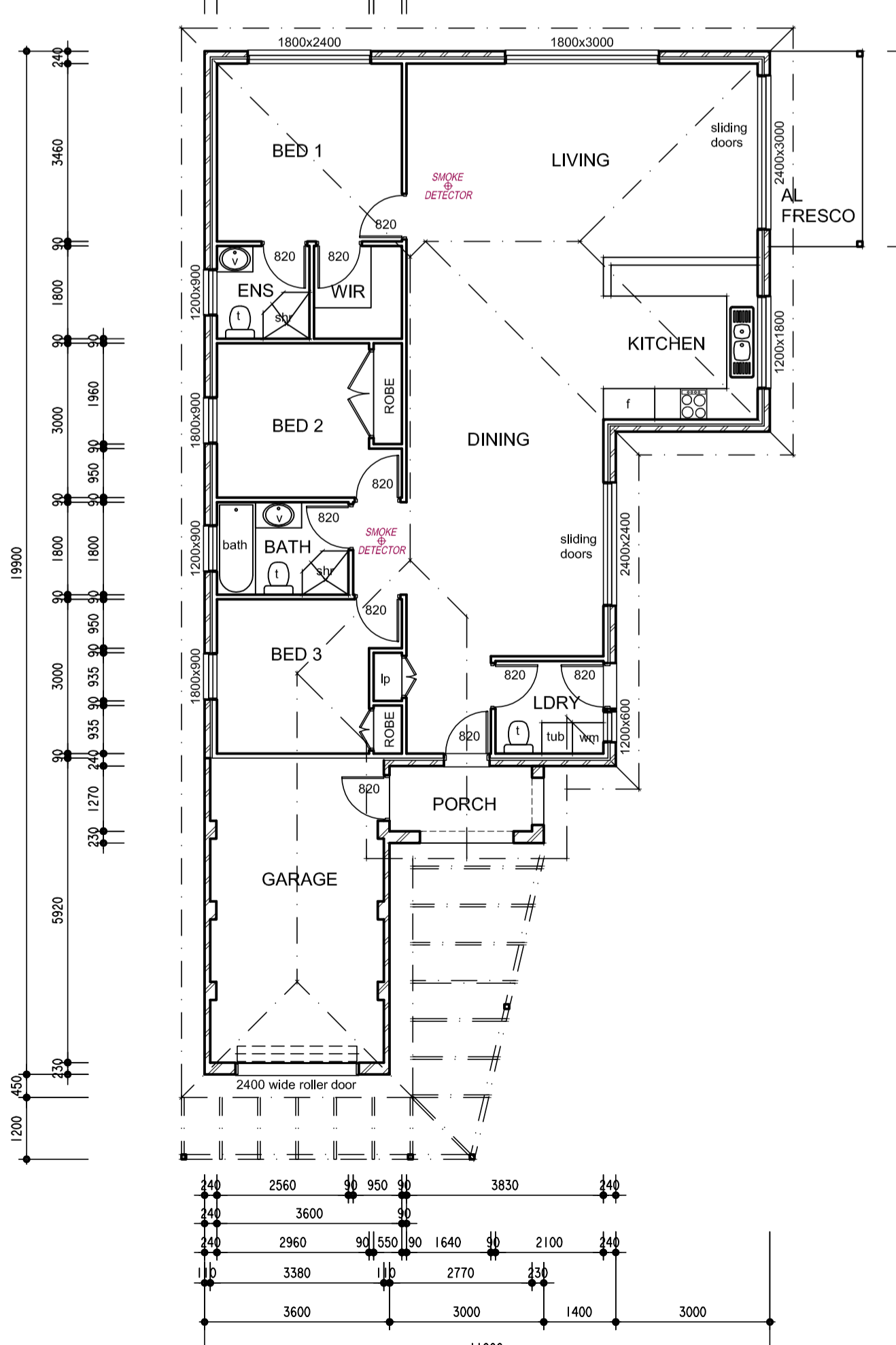
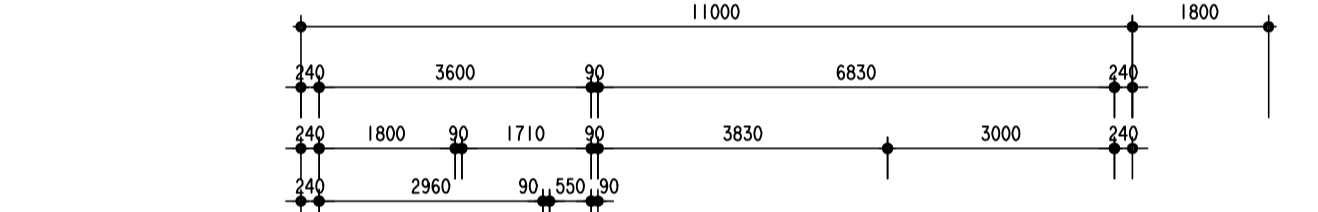
WEST ELEVATION



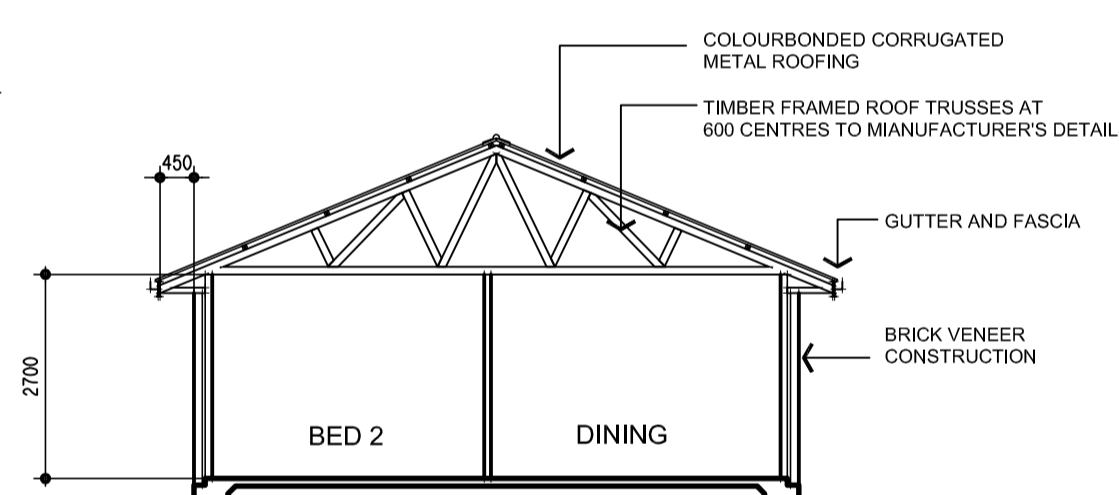
EAST ELEVATION



EAST ELEVATION



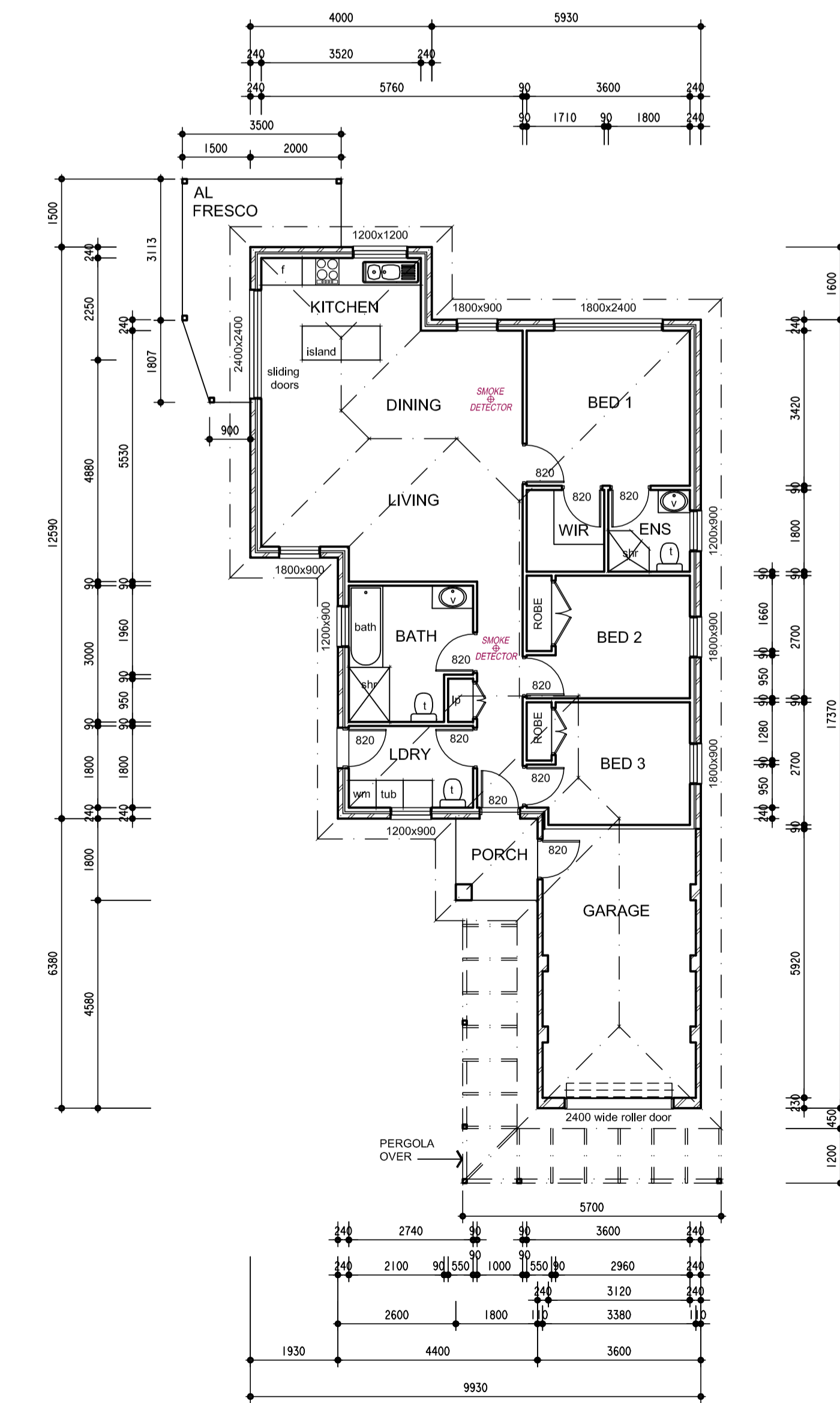
UNIT 1 DETAILS



TYPICAL SECTION

RC SLAB TO ENGINEER'S DETAILS, TERMITE CONTROL TO AS3600.1

NOTE: TIMBER FRAMING THE DOWN DETAILS TO BE ASSESSED AND DESIGNED IN ACCORDANCE WITH AS 4055 + AS 1170.2. WIND SPEED DETAILS TO BE SUPPLIED BY STRUCTURAL ENGINEER.



UNIT 2 DETAILS

BASIX COMMITMENTS:

WATER: The applicant must in each unit:
 Install showerheads with a minimum rating of 4 star (> 4.5 but <= 6.0 L/min) in all showers.
 Install a toilet flushing system with a minimum rating of 5 star in each toilet.
 Install taps with a minimum rating of 5 star in the kitchen.
 Install basin taps with a minimum rating of 5 star in each bathroom.
 Install a rainwater tank of at least 2500 litres per unit on the site.
 Configure the rainwater tank to collect rain runoff of 100m² of roof area of each unit.
 Connect the rainwater tank to:
 All toilets, the cold water tap that supplies each clothes washer, at least one outdoor tap.

THERMAL COMFORT: Refer to schedule below ABSA certificate for insulation and construction notes.

ENERGY: The applicant must:
 Install a hot water system with a higher energy rating; electric heat pump - air sourced 31 to 35 STCs

Install the following exhaust systems:
 Bathroom: individual fan, ducted to facade or roof manual switch on/off
 Kitchen: individual fan, ducted to facade or roof manual switch on/off
 Laundry: individual fan, ducted to facade or roof manual switch on/off

Install electric cooktop & electric oven in the kitchen of the dwelling.
 Construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
 Install a fixed outdoor clothes drying line.

External Walls

All external walls to be :-
 As per Plans
 Selected Brick Veneer walls - R2.5 Insulation -main floor
 Selected Brick pier walls (sub floor)-no insulation
 Colours - Selected from the Medium Range of Colours for Basix

Windows

All windows to be :-
 Selected aluminium frame Windows as per Window Schedule on Plans
Units 1,4 All Sliding/DH aluminium frame single glazed- clear U value 6.7 SHGC value 0.70
Unit 2 Liv/Kitchen/Dining Bed1,2,3 Sliding/DH aluminium frame single glazed- clear U value 3.1 SHGC value 0.49
 All other areas -Sliding/DH aluminium frame single glazed- clear U value 6.7 SHGC value 0.70
Unit 3 Liv/Kitchen/Dining Sliding/DH aluminium frame single glazed- clear U value 3.1 SHGC value 0.49
 All other areas -Sliding/DH aluminium frame single glazed- clear U value 6.7 SHGC value 0.70
Doors-(other)
 New Doors as per Door Schedule on Plans

Internal Walls

All internal walls to be :-
 Plasterboard lining both sides fix to 90 x 38 Stud frame-no insulation
 Internal walls of Bath/Laundry/Garage Int walls -Plasterboard lining both sides/R2 insulation in stud walls

Floors

All floors to be :-
 Main floor slab on ground-no insulation
 Garage floor slab on ground-no insulation

Roof/Ceiling

Selected Colourbond Roof sheet (medium) with Anticon R1.5 (or equal) under roof sheet
 Colours - Selected from the Medium Range of Colours for Basix
 R4 insulation to plasterboard ceilings-no insulation to Garage Ceiling
Roof wall Penetrations
 All exhaust fans to be located in (or ducted to) external walls/eaves & fitted with seals to close off fan when not in use

This rating assumes that downlights can be used in the project.
 If downlights are selected they are to be LED sealed surface mounted downlights and as per NCC(BCA) requirements
 Child proof screens to be fitted to all main floor windows to comply with NCC(BCA) if required

ABBREVIATIONS:

Not to scale	NTS	BTH	Bathub
Unless noted otherwise	UNO	SHR	Shower
Finished ceiling level	FCL	T	Toilet
Finished floor level	FFL	V	Vanity
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Galvanised iron	GI	HWS	Hot water system
Downpipe	DP	LP	Linen press
Stainless steel sink	Sink	CBD	Cupboard
Hot plate	HP	RP	Robe
Wall oven	WO	SD	Sliding door
Range hood	RH	CSD	Cavity sliding door
Dishwasher	DW	ASD	Aluminium sliding door
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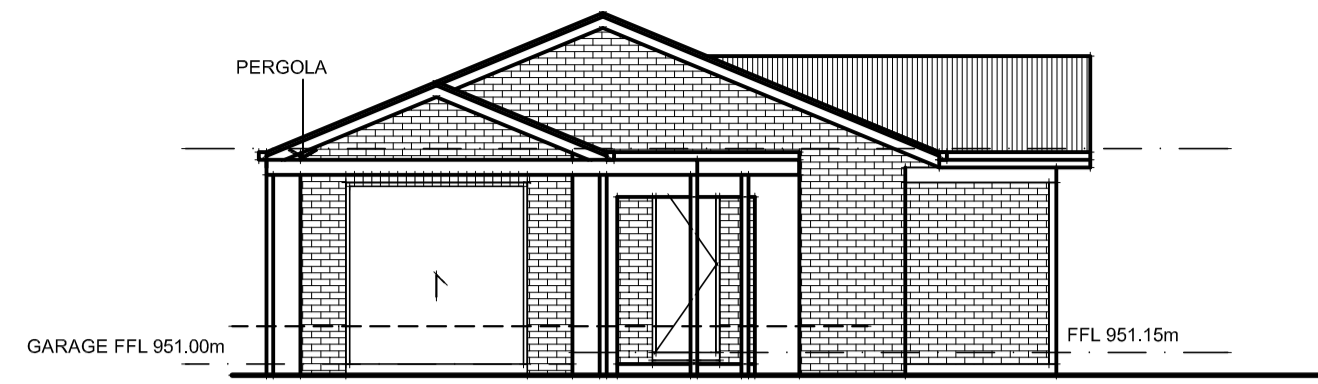
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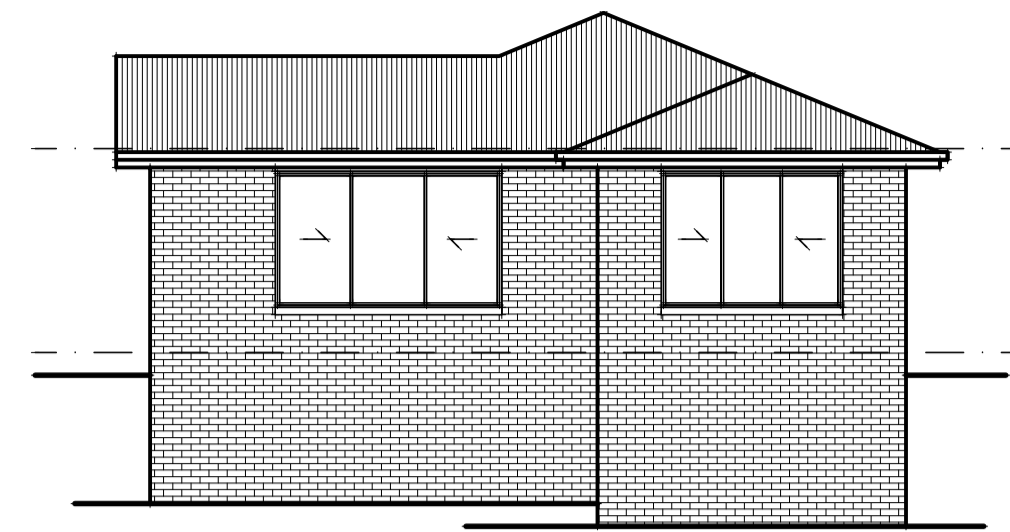
ACCREDITED BUILDING DESIGNER #6080

PROPOSED MULTI RESIDENTIAL DEVELOPMENT
 AT: LOT 6 CURA CLOSE LITHGOW

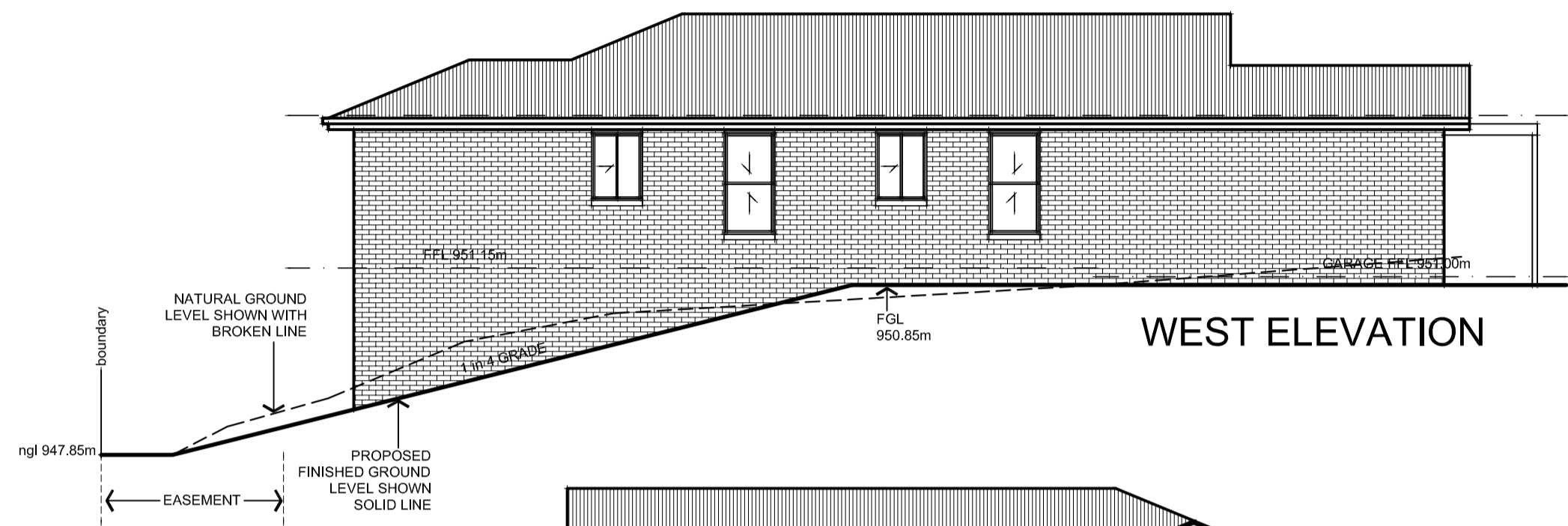
FOR: GPM INVESTMENTS PTY LTD



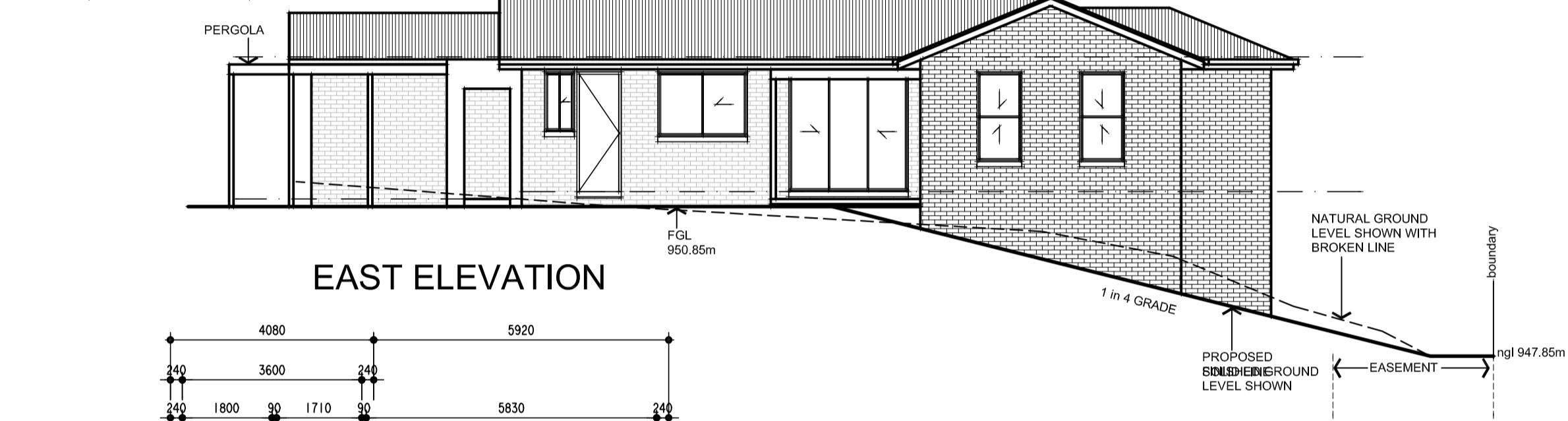
CURA CLOSE (SOUTH) ELEVATION



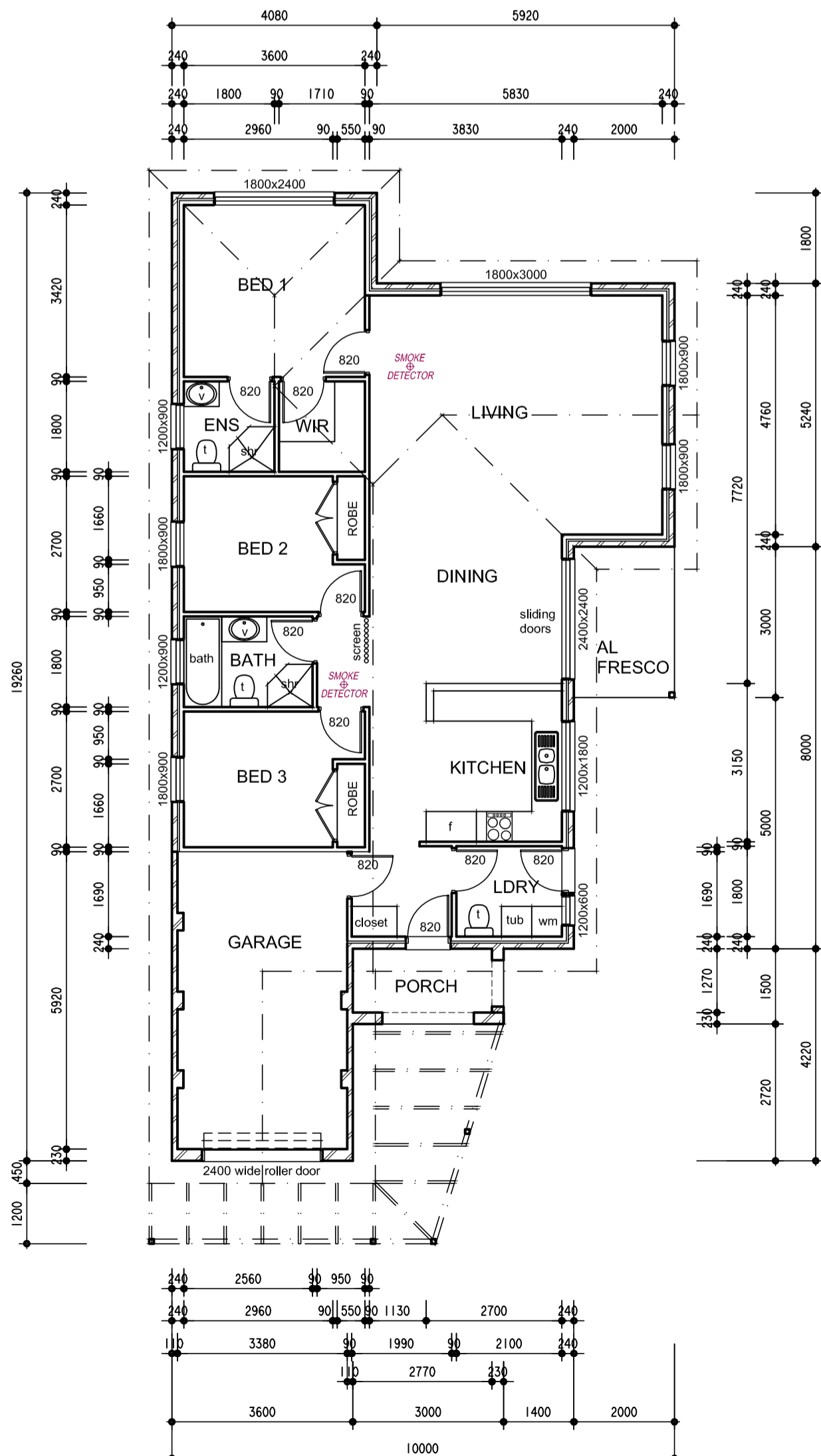
NORTH ELEVATION



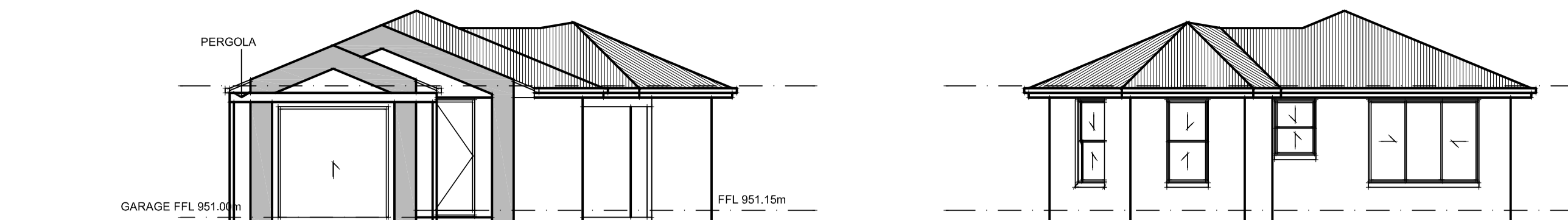
WEST ELEVATION



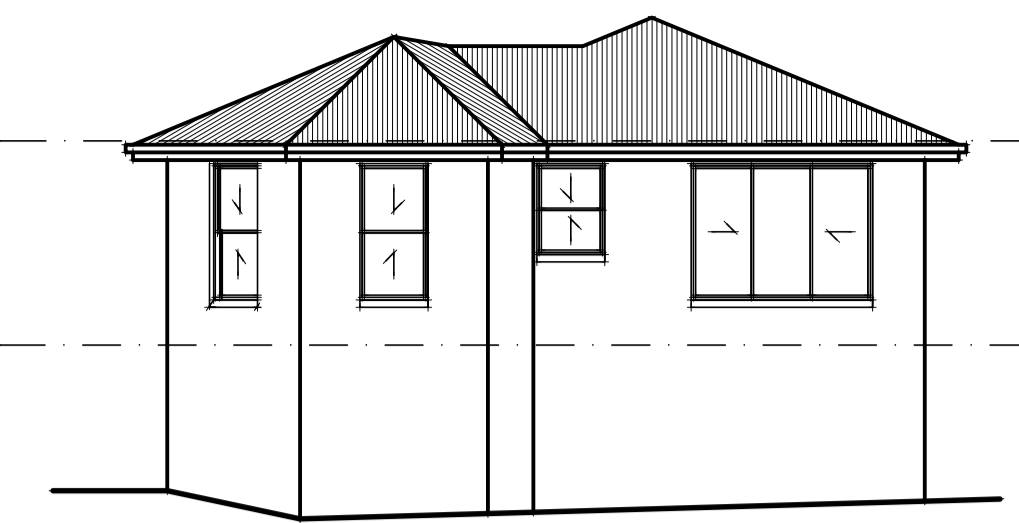
EAST ELEVATION



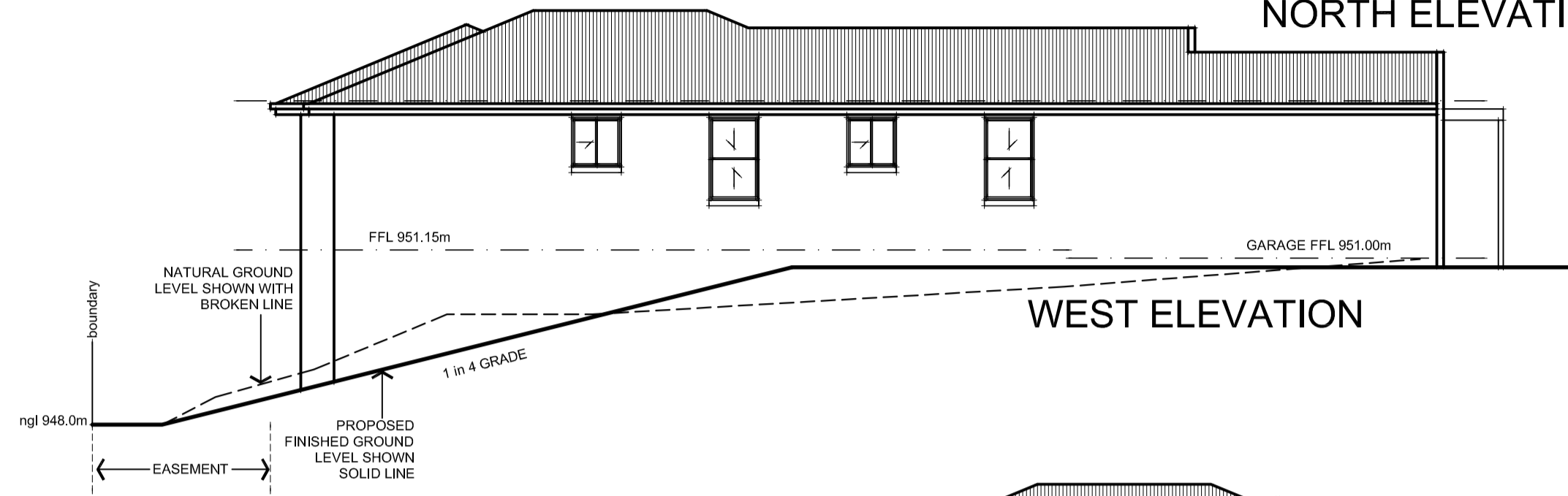
UNIT 3 DETAILS



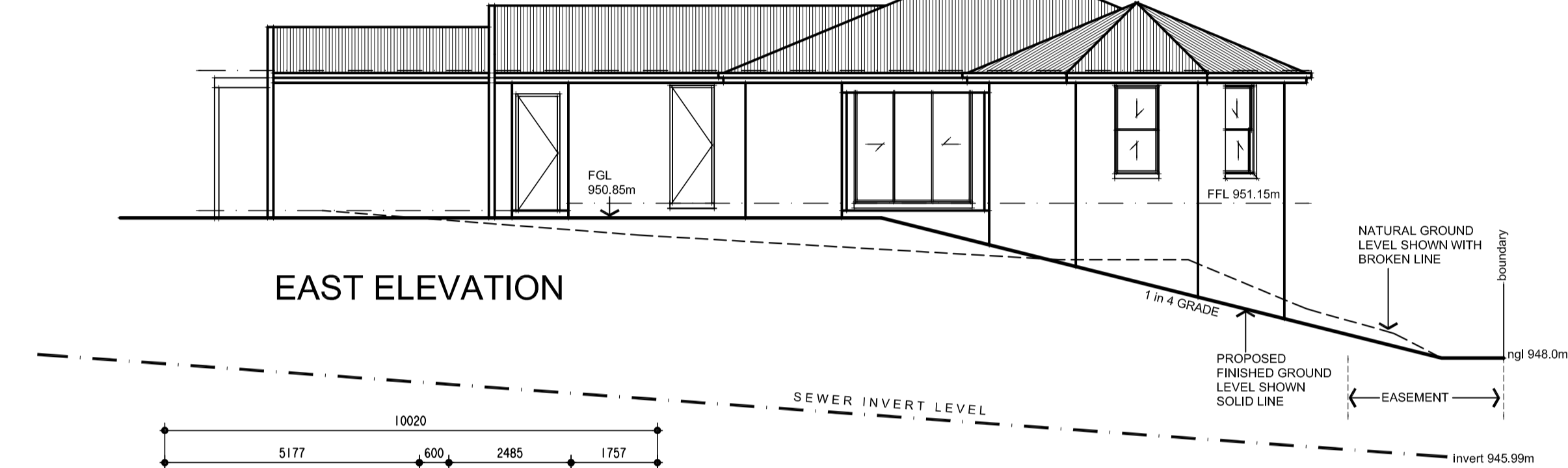
CURA CLOSE (SOUTH) ELEVATION



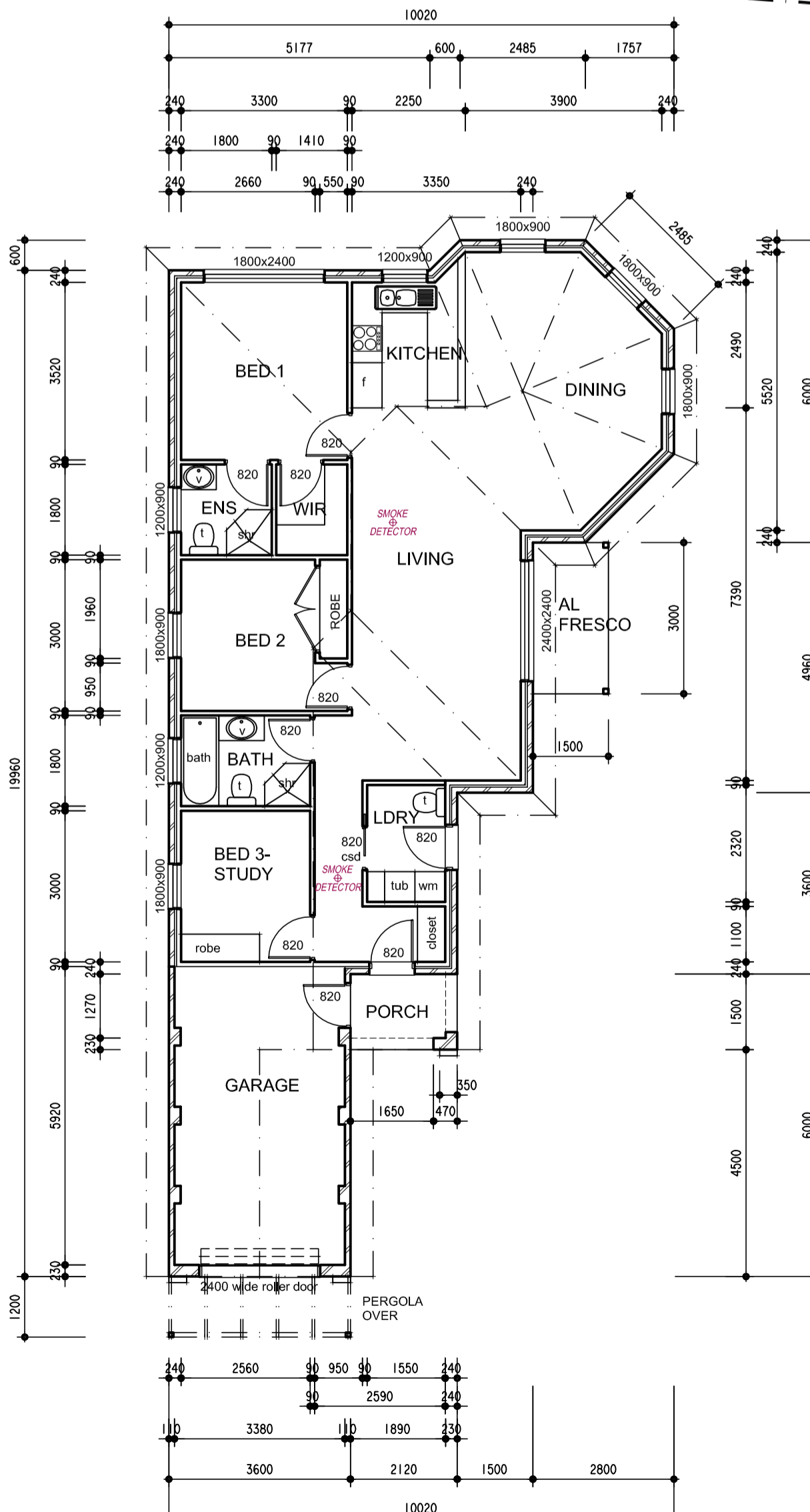
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



UNIT 4 DETAILS

ABBREVIATIONS:

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Unless noted otherwise	UNO	SHR	Shower
Finished ceiling level	FCL	T	Toilet
Finished floor level	FFL	V	Vanity
Reduced level	RL	B	Basin
Natural ground level	NGL	FW	Floor waste
Reinforced concrete	RC	TUB	Laundry tub
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FOR: GPM INVESTMENTS PTY LTD

Scale 1:100 UNO
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 Date 01-10-2019
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SHEET 3

ISSUE 0