

Marrangaroo

Masterplan & DCP Project

Vision session structure:

Project and Site Background

Community Consultation Background

Values

Workshop values for Marrangaroo

Principles

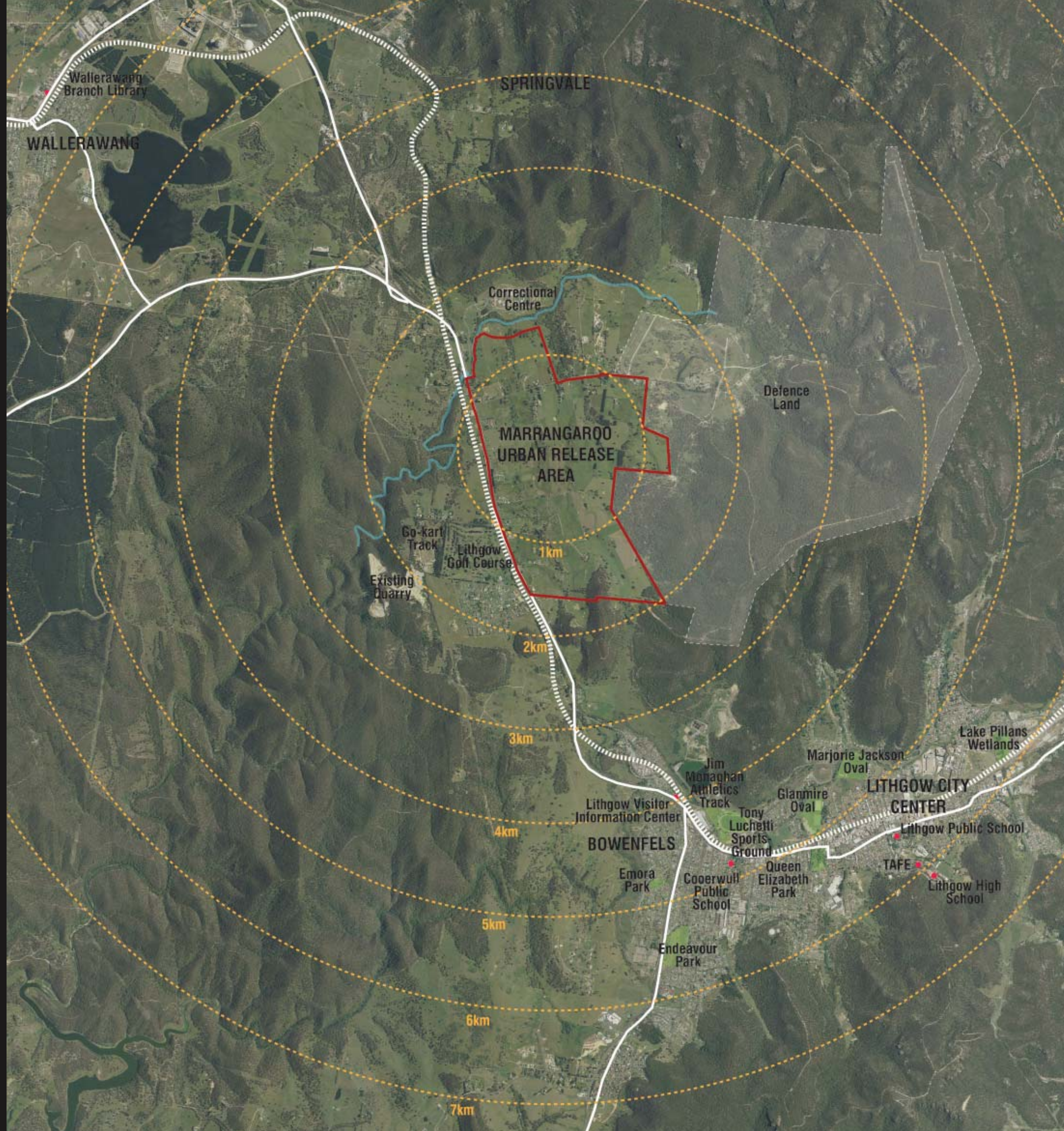
Workshop key principles for Marrangaroo

Vision

Put together a vision statement for Marrangaroo

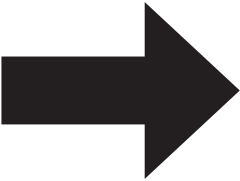
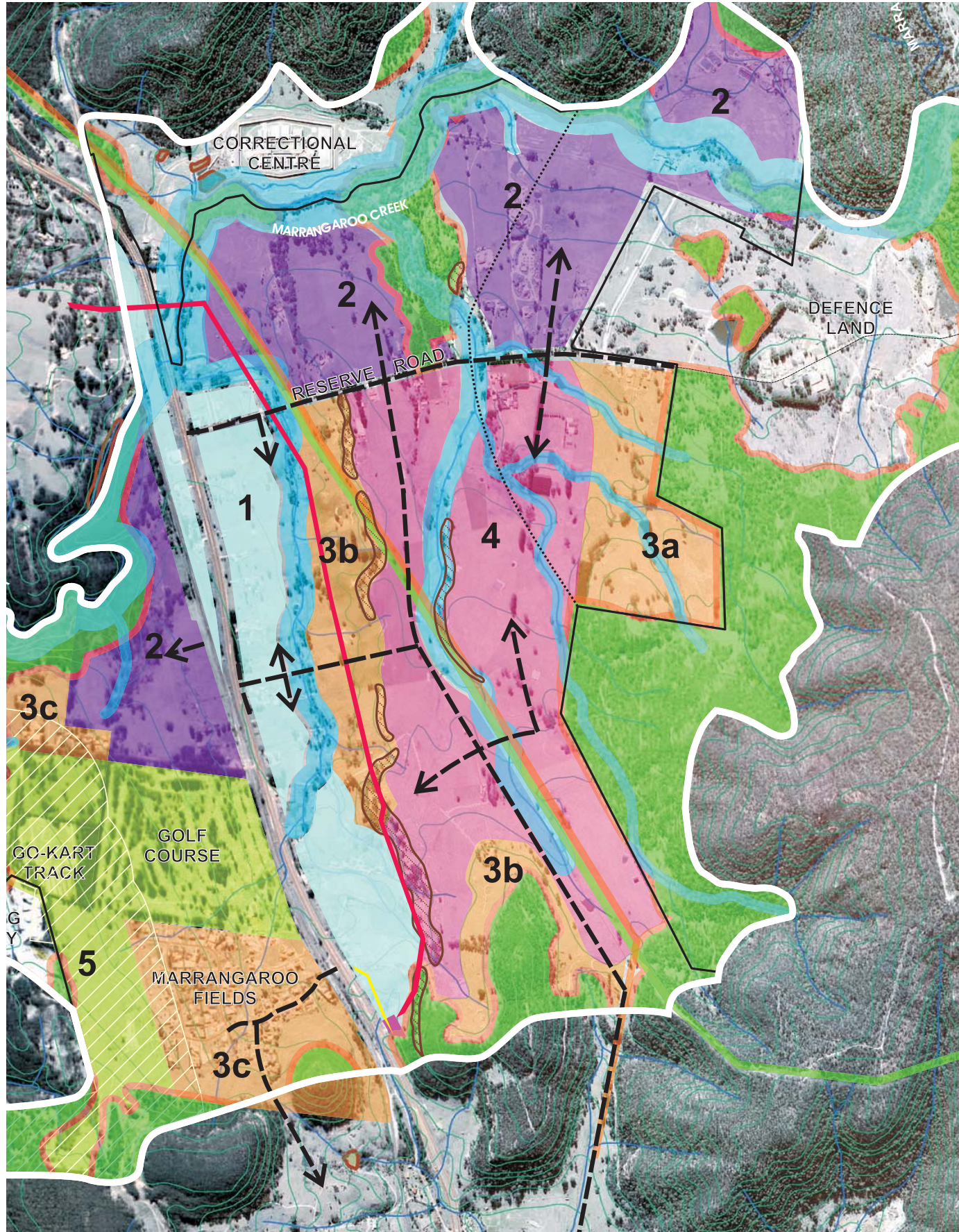
Next Steps

The Project



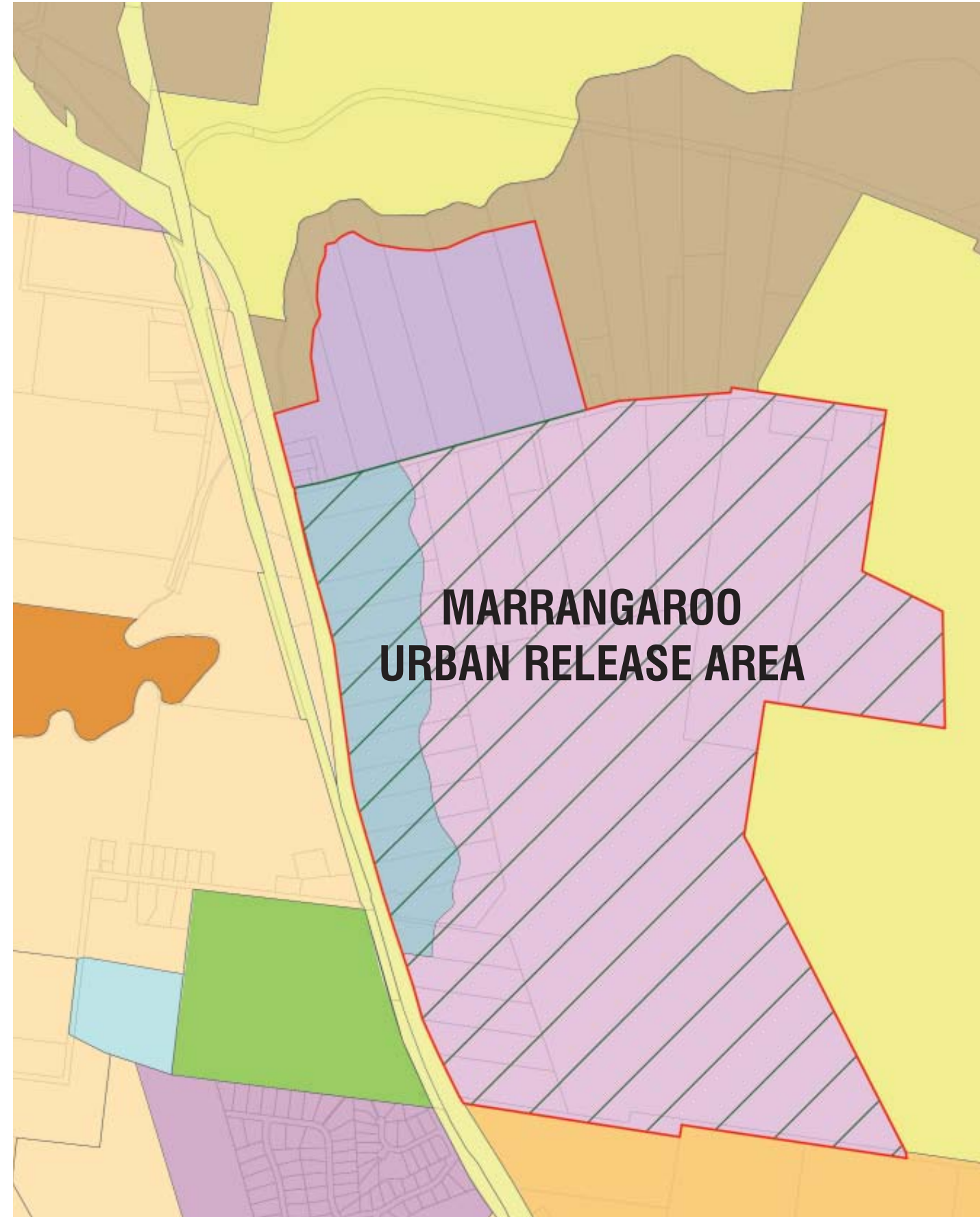
2006: Structure Plan

comprehensive site analysis
community consultation

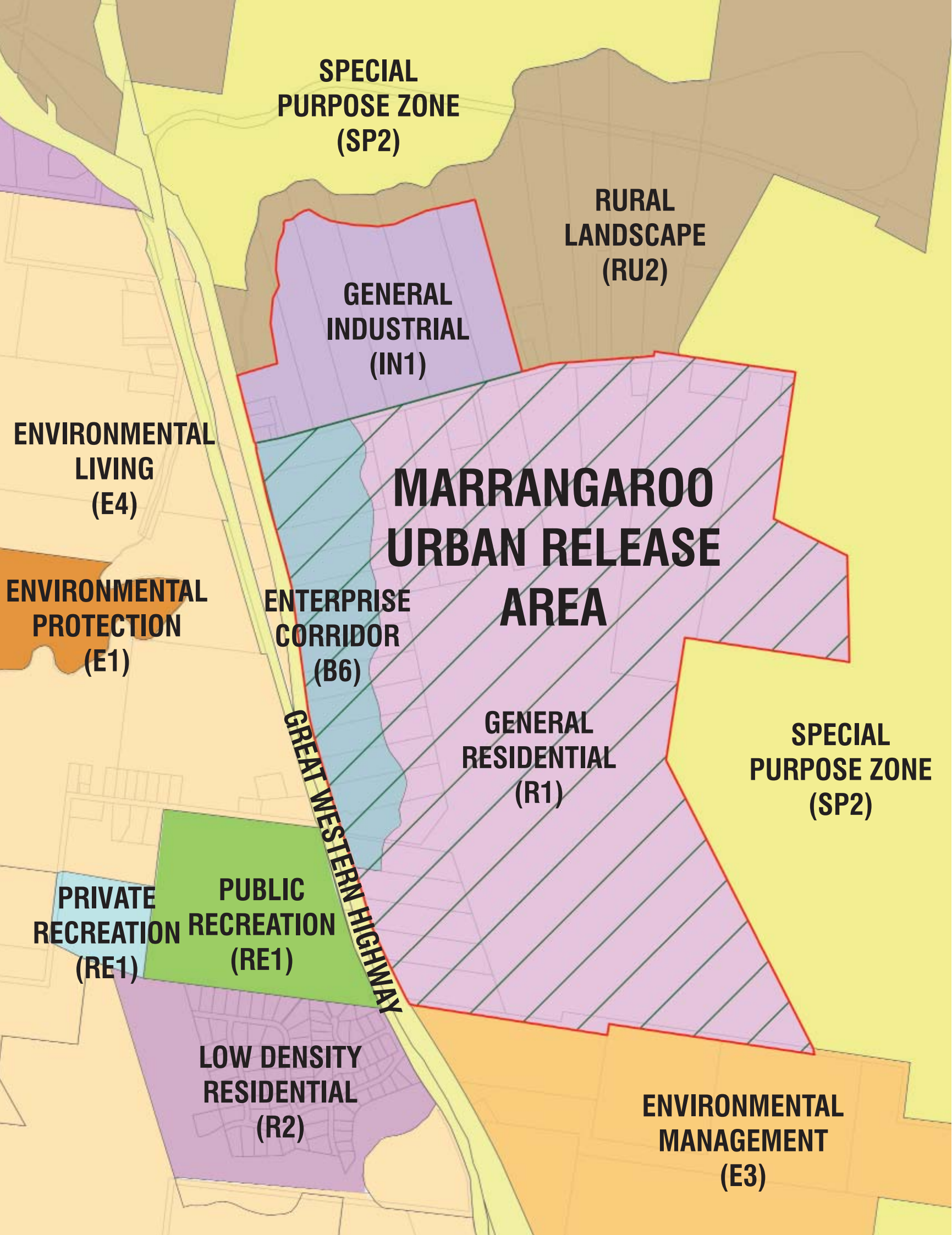


2014: LEP Rezoning

current zoning framework



Current zoning



2016-17: Masterplan & DCP

OBJECTIVE:

To provide a vision and planning framework to define, inform, guide, and facilitate the future development of the Marrangaroo Urban Release Area and adjoining employment lands

2016-17: Masterplan & DCP

BENEFITS:

- Ensures development occurs in a logical and well-planned manner
- Provides guidelines and principles that will maintain a positive outcome and direction over what may be several decades of development
- Provides reassurance for the community, businesses and landowners as to the future character and impacts of the Marrangaroo area

2016-17: Masterplan & DCP



STREET HIERARCHY



MASTER PLAN VISION: PUBLIC PARK



Artists impression of a Shiralee park overlooked by a street and residential housing

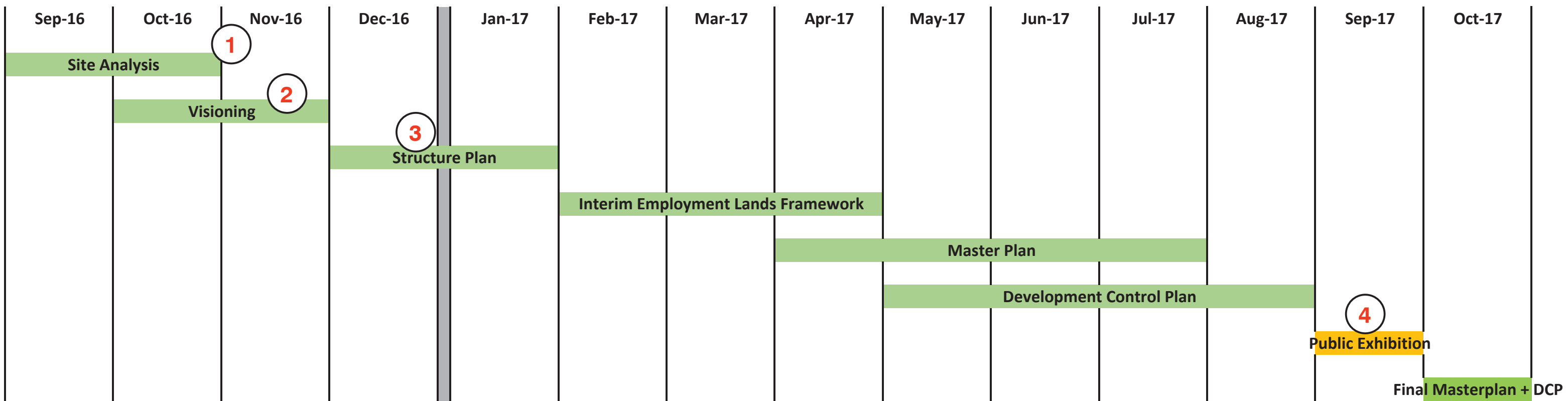


URBAN CHARACTER: COMPACT HOUSING



URBAN CHARACTER

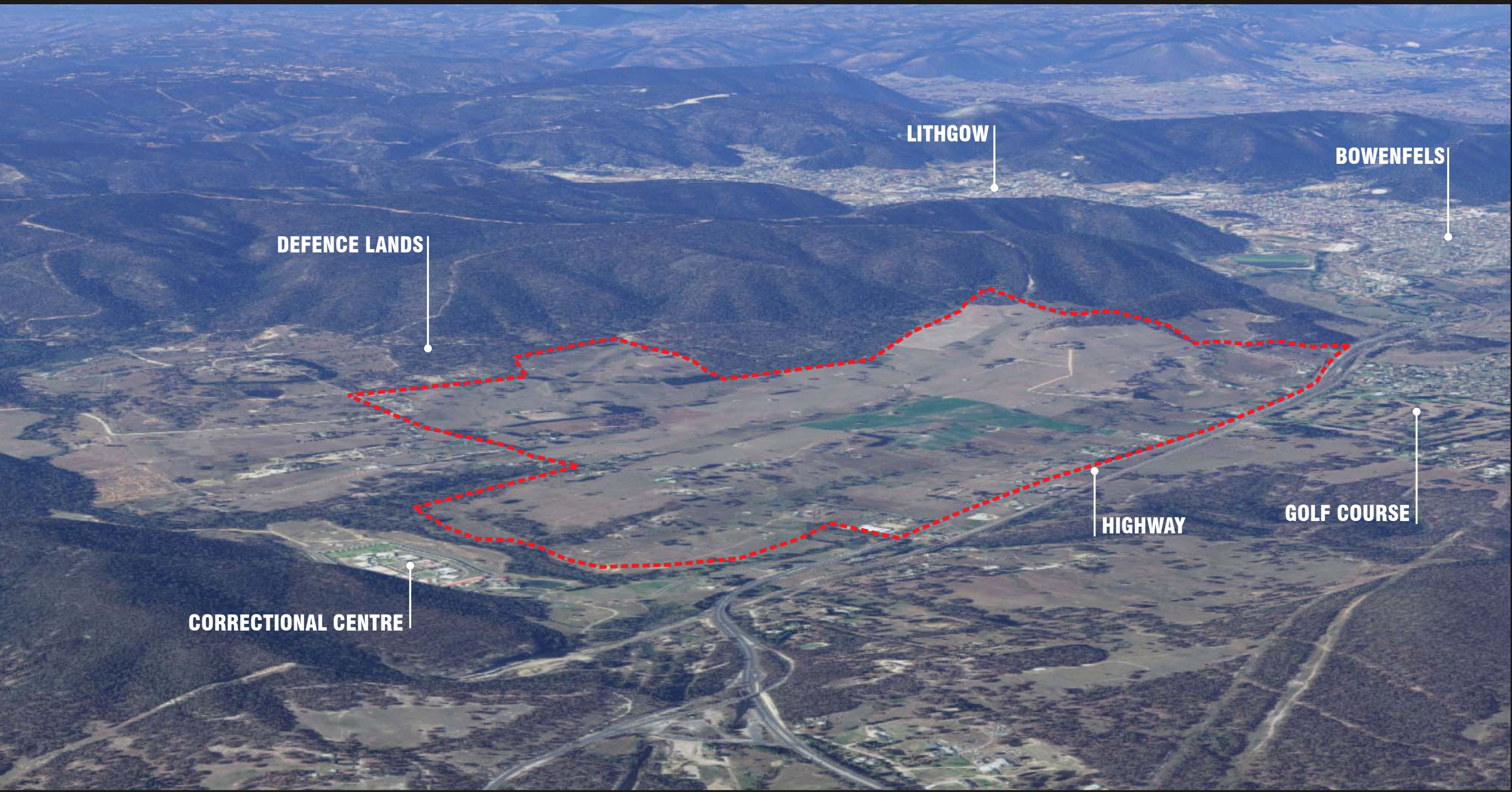




Community and Stakeholder Engagement:

1. Project Briefing Session
2. Vision Workshop
3. Structure Plan Options Workshop
4. Public Exhibition

The Site



DEFENCE LANDS

CORRECTIONAL CENTRE

LITHGOW

HIGHWAY

BOWENFELS

GOLF COURSE

Site

339 ha



Constraints and Considerations

-  Site Boundary
-  < 1:3 slope
-  1:3 - 1:5 slope
-  1:5 - 1:10 slope
-  Creekline Buffer (100, 50 or 20m)
-  High Provisional Flood Hazard
-  Low Provisional Flood Hazard
-  Infrastructure easement
-  160m Buffer to gas line
-  Mature vegetation
-  Rocky scarp
-  Water bodies
-  100m Bushfire protection zone
-  Sealed Road
-  Unsealed road



economic background

Residential yield (based on 2006 Structure Plan)

Urban

170 ha, 1530 lots, 3825 residents

9 lots / ha

250-4,000sqm lots



comparison: Lithgow = 18 lots / hectare

Large Lot Residential

85 ha, 194 lots, 485 residents

2.3 lots / ha

4,000-20,000sqm lots



comparison: Marrangaroo Fields = 2.5 lots / hectare

Local Retail + Community infrastructure

Neighbourhood Centre:

Lithgow Town Centre to be the dominant retail centre in the LGA.

Marrangaroo can support a retail centre of **up to 1,700sqm of retail floorspace, anchored by a grocer** (such as IGA or Foodworks)

Community and Social Infrastructure:

A **community facility** is recommended at Marrangaroo and should include a **kindergarten / preschool**.

This may also include an **aged care facility**, however based on existing supply and demand elsewhere in Lithgow LGA, there may be greater need for other types of social infrastructure such as a **child health centre** or an **art gallery**.

Employment lands

It is **not likely to be feasible to attract and site a major business park** (offices/research)

■ General Industrial

Available: 54ha

Estimated demand: 8.9ha

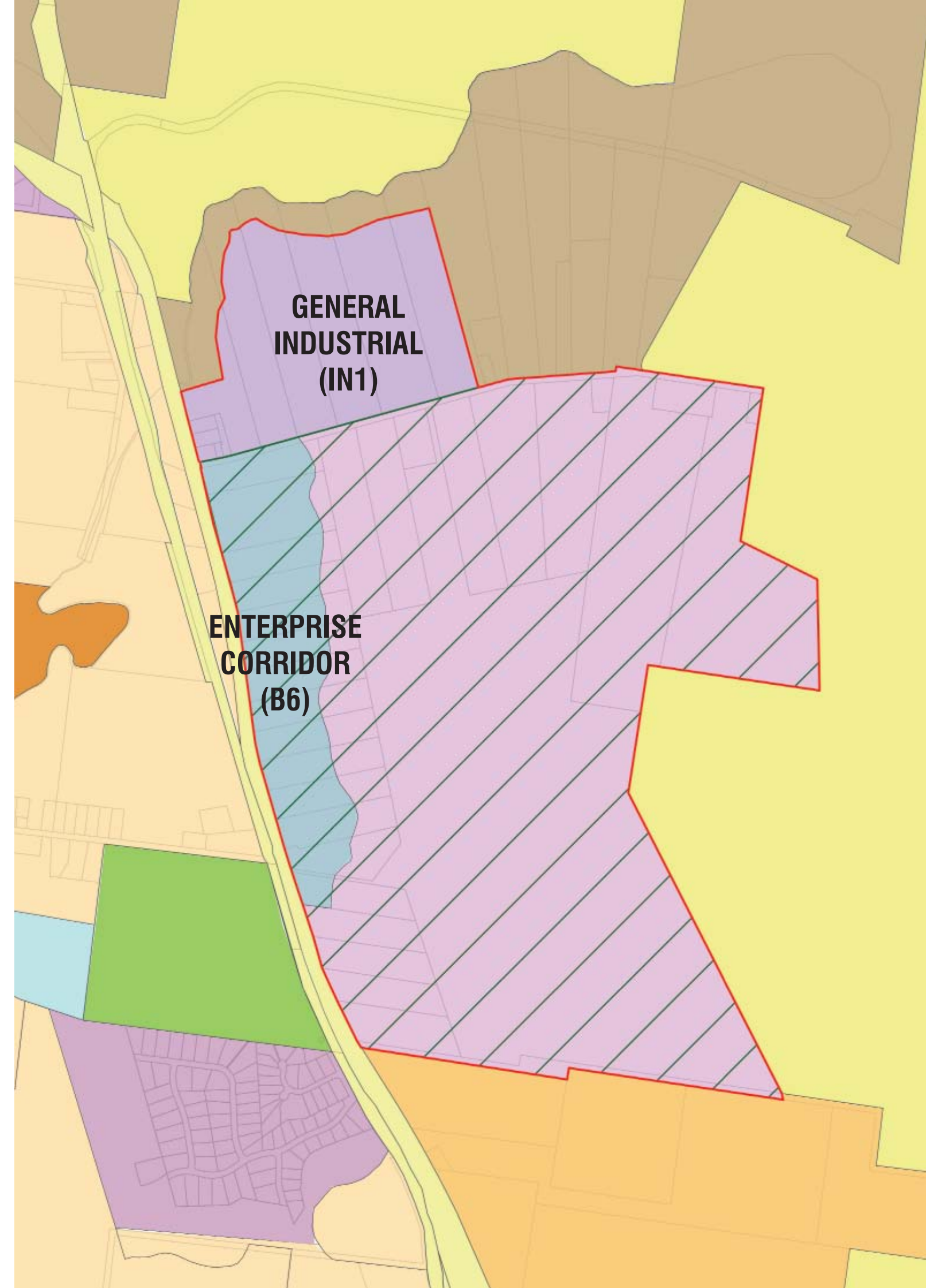
- 140 jobs
- Freight and logistics, local light industrial and urban support, light manufacturing

■ Enterprise Corridor

Available: 39ha

Bulky Goods demand: 8.9ha - 43ha

- Potential for competition with established bulky goods nodes elsewhere (e.g. Bathurst / Penrith)
- Other uses such as tourism may be possible



community consultation
background

Community Feedback so far...

'Open House' - Feb 2006:

- Full day information and feedback session for the project
- Approximately 100 visitors across the course of the day
- Verbal feedback + 20 filled out surveys
- Values, Issues and Opportunities identified
- Principles were compiled for Marrangaroo based on community input and state guidelines

Briefing Session and Feedback Forms - 3 Nov 2016:

- Landholder briefing session - 19 attendees
- Community and stakeholder briefing sessions - 42 attendees

Feedback received: Verbal feedback + 9 filled out feedback forms, summarised below:

- **Existing values:** rural character and views - including entrances to Lithgow; existing connections (rail, roads, proximity to Lithgow, Penrith and Sydney); and a diverse and friendly community - *these values are expanded on in the next segment*
- **Main concerns:** Impact of Enterprise Corridor on existing homes, entry to Lithgow and views from Highway; providing adequate infrastructure and services; highway traffic and configuration; creating 'suburbia' - ruining the current rural character and lifestyle; rights of existing landholders; size of waterway buffers; option for future express highway route between Central West and Sydney through site
- **Future development:** Maintain rural character and outlook; provide community services and infrastructure (incl. NBN); provide recreational opportunities and parkland; large residential lots; provide public transport, bicycle and walking tracks; "don't change anything!"

Values

What aspects of Marrangaroo should be retained and celebrated?

(following values are compiled from 2006 community consultation and more recent feedback forms)

A wide-angle photograph of a rural landscape. In the foreground, there is a grassy field with some taller, brownish grasses. In the middle ground, a rolling green hill features a small white house and a larger, more prominent house with a dark roof. To the right, a small blue-roofed shed is visible. The background shows a larger, forested hill under a cloudy sky. The overall scene is peaceful and open.

Rural / 'Country' character,
amenity and outlook

Open Space, views and beauty

Separate to Lithgow



**MARRANGAROO
URBAN RELEASE
AREA**

Defence
Land

Go-kart
Track

Lithgow
Golf Course

1km

Existing
Quarry

2km

Proximity to Lithgow -
access to train, services,
shops

3km

Lake Pillans
Wetlands

Marjorie Jackson
Oval

**LITHGOW CITY
CENTER**

Lithgow Visitor
Information Center

Jim
Monaghan
Athletics
Track

Glanmire
Oval

Lithgow Public School

4km

BOWENFELS

Tony
Luchetti
Sports-
Ground

TAFE

Emora
Park

Cooerwull
Public
School

Queen
Elizabeth
Park

Lithgow High
School

5km

A landscape photograph showing a bushland area. In the foreground, a stream flows through tall, dry grasses. The middle ground features a fence line and several large, mature trees with dense foliage. The background shows a rolling landscape with more trees under a cloudy sky.

Wildlife, bushland,
natural vegetation



Mix of land uses





Large block sizes



Heritage - both built and natural



Lifestyle, affordability
and friendly people

VALUES - Marrangaroo

- Rural “country” character - amenity and outlook, open space, views
- Separate to Lithgow
- Proximity to Lithgow
- Wildlife, bushland, natural vegetation
- Mix of land uses
- Larger block sizes
- Heritage both built and natural
- Lifestyle, affordability and friendly people

Additional Values:

- please complete the 'values' section of your response form -

Design Principles

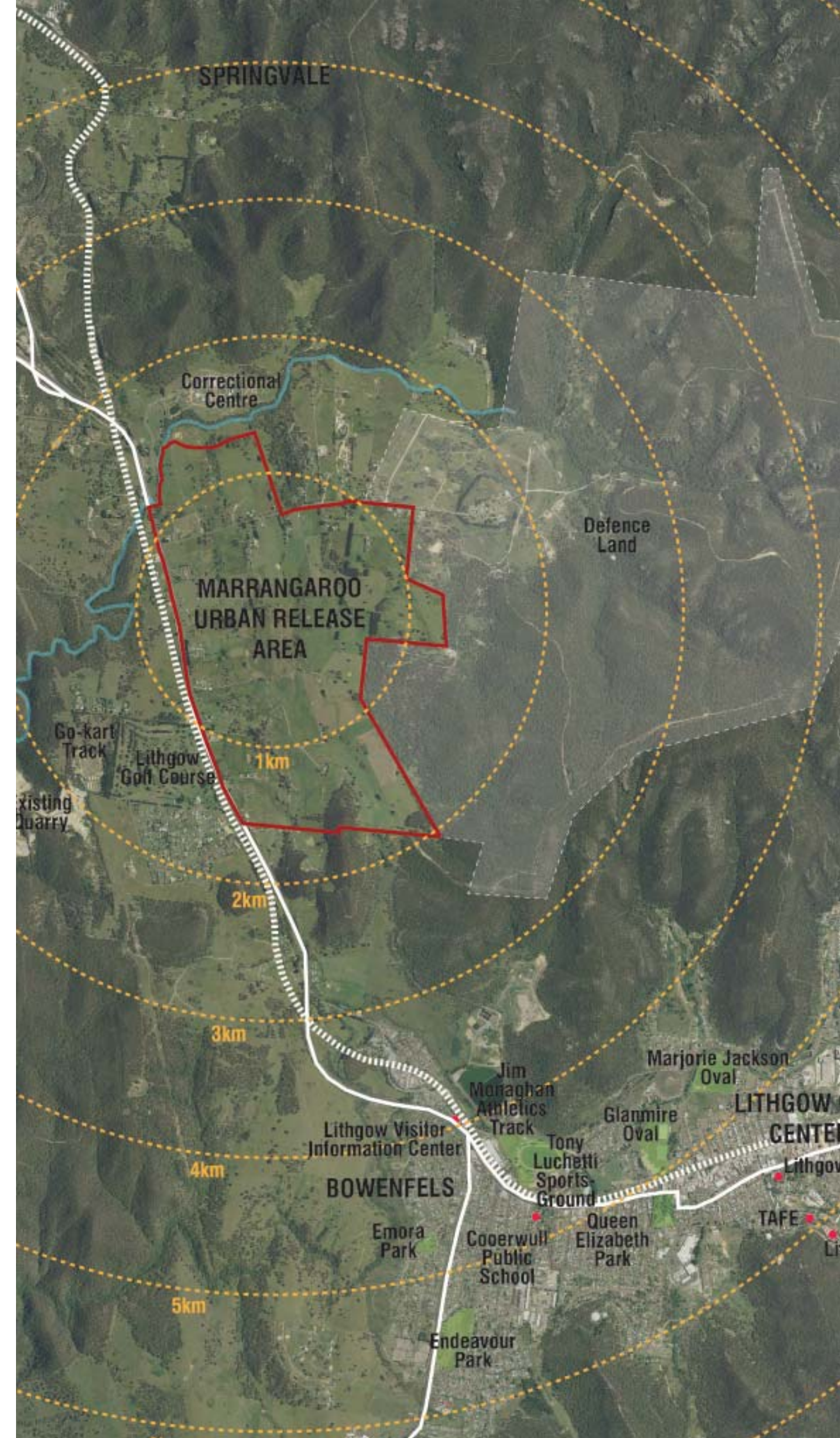
Principles to guide the master planning and development of Marrangaroo

- Context & Interfaces
- Natural Features
- Community & Amenity
- Housing & Density
- Employment & Economy
- Staging & Implementation

Context & Interfaces

key issues:

- Relationship to Lithgow
- Approach (to both Marrangaroo and northern approach to Lithgow)
- Interface with Highway / railway
- Interface with Marrangaroo Creek and Correction Centre
- Interface with Defence Land and woodlands
- Relationship to Marrangaroo Fields and golf course



Context & Interfaces

draft principles:

- Create a distinct and identifiable community with a strong sense of arrival
- Ensure safe and adequate access from the Highway
- Maintain the visual quality of the entrance to Lithgow
- Separate Correctional Centre and residential housing
- Protect Marrangaroo Creek, its water quality and wildlife
- Retain key landscape views from the Highway and residential areas east of the Highway
- Provide cycle and public transport connections to Lithgow

Context & Interfaces *Additional Principles:*

- please complete this section of your response form -

Natural Features

key issues:

- Mature trees and vegetation
- Ephemeral creeklines and future drainage requirements
- Flood prone areas
- Habitat corridors
- Rocky outcrops
- Steep slopes
- Bushfire hazard
- Landscape views
- Open, rural landscape character



Natural Features

draft principles:

- Protect heritage views and rural character / setting of the area.
- Maintain the natural beauty of hills and ridgelines for wildlife, attractiveness and recreation
- Incorporate wildlife corridors along gullies and waterways and avoid creating barriers for wildlife movement
- Provide adequate separation between urban development and natural areas and waterways
- Avoid urban development in flood or fire prone areas and steep slopes
- Incorporate water sensitive urban design into all aspects of the development, utilising existing drainage corridors and waterways

Natural Features *Additional Principles:*

- please complete this section of your response form -

Community & Amenity

key issues:

- Local retail provision
- Providing community facilities - kindergarten, community centre
- Recreational opportunities
- Public open space provision and quality
- Connecting people to community, amenity and services



Community & Amenity

draft principles:

- Create a village heart within the residential neighbourhood that provides basic services such as local retail / education /community centre.
- Do not plan or develop services greater than the needs of the target population.
- Provide green streets that minimise road pavement and maximise green verges and trees - Provide and encourage walking, cycling and public transport (bus) use.
- Provide a range of recreational opportunities including play spaces and access to bushland walks.
- Provide a connected network of open spaces distributed throughout the development and in varying topographic locations (hilltops, drainage lines)
- Preserve and celebrate heritage features (e.g. chapel building)
- Promote efficient land-use for urban purposes to preserve rural land

Community & Amenity *Additional Principles:*

- please complete this section of your response form -

Housing & Density

key issues:

- Providing future housing capacity for the Lithgow LGA
- Retaining rural character and lifestyle
- Avoiding suburban sprawl
- Diversity and choice of housing
- Where to locate density and where not to
- Infrastructure and services costs
- Housing affordability



Housing & Density

draft principles:

- Provide housing choice and diversity
- Provide enough housing to sustain infrastructure costs, public transport, community facilities and a small amount of local retail
- Locate density where amenity is the highest, such as adjacent open space or neighbourhood centre
- Provide large lots in areas that will contribute to landscape views, rural character and environmental protection (e.g. hilltops and ridgelines)

Housing & Density *Additional Principles:*

- please complete this section of your response form -

Employment & Economy

key issues:

- Providing economic opportunities
- Providing jobs for local residents and community
- Visual impact of industrial and enterprise corridor uses
- Catering for future demand
- Interfaces with residential and environmental uses
- Access and servicing



Employment & Economy

draft principles:

- Increase economic opportunities to live and grow in Lithgow
- Provide employment generating land uses, including land with good access and visibility
- Provide enough land to encourage investment and cater for future demand
- Separate incompatible uses from one another
- Provide landscape setbacks and screening to reduce the visual impact of development in areas or for uses that don't require a high level of visibility
- Provide cycle and pedestrian connections between residential, retail and employment areas

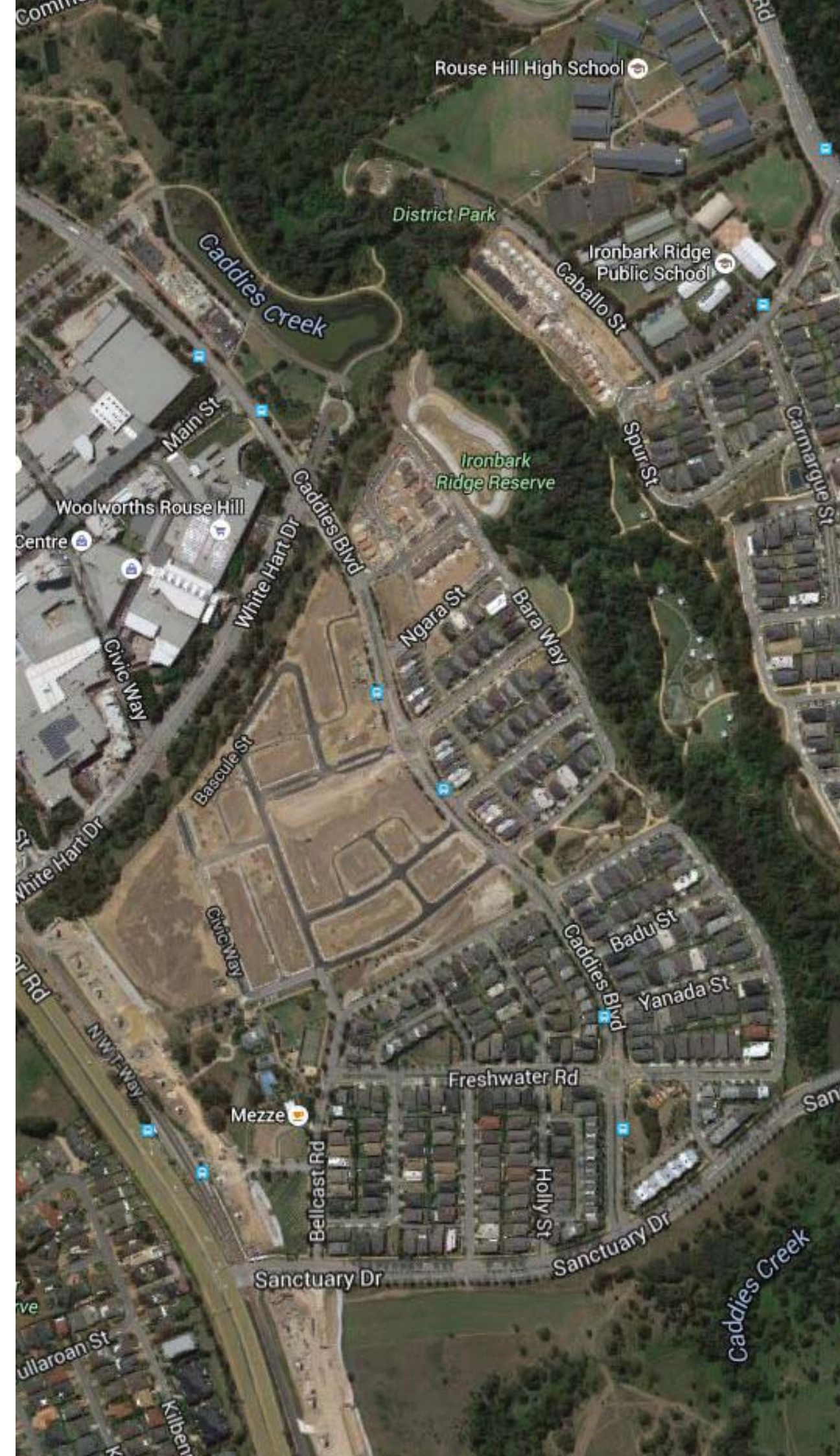
Employment & Economy *Additional Principles:*

- please complete this section of your response form -

Staging & Implementation

key issues:

- Existing property boundaries and landowners
- Staging infrastructure, retail and community services
- Housing demand
- Interim access and land use conflicts



Staging & Implementation

draft principles:

- Locate development near existing services and infrastructure where possible
- Design and implement cost effective infrastructure for the whole area to support its development
- Recognise the impact of existing property boundaries on staging and future development
- Provide a robust set of development guidelines to ensure a well considered and consistent outcome into the future

Staging & Implementation *Additional Principles:*

- please complete this section of your response form -

Marrangaroo Vision

Marrangaroo will be.....

Next Steps

Feedback Forms

Structure Plan Options

Workshop - TBC