

PROPOSED DEVELOPMENT

PROJECT ADDRESS:

69 MAIN STREET LITHGOW NSW
LOT 1 DP 900325

CLIENT:

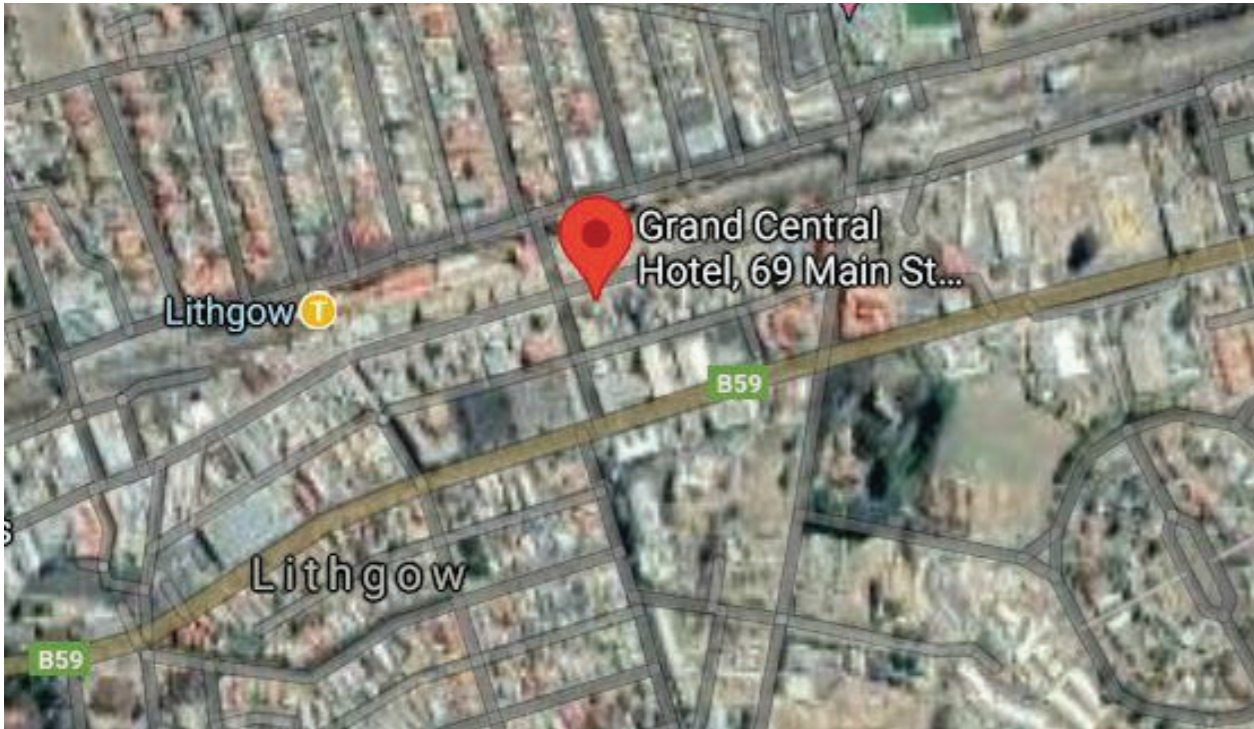
GREY HOMES WESTERN SYDNEY

COUNCIL:

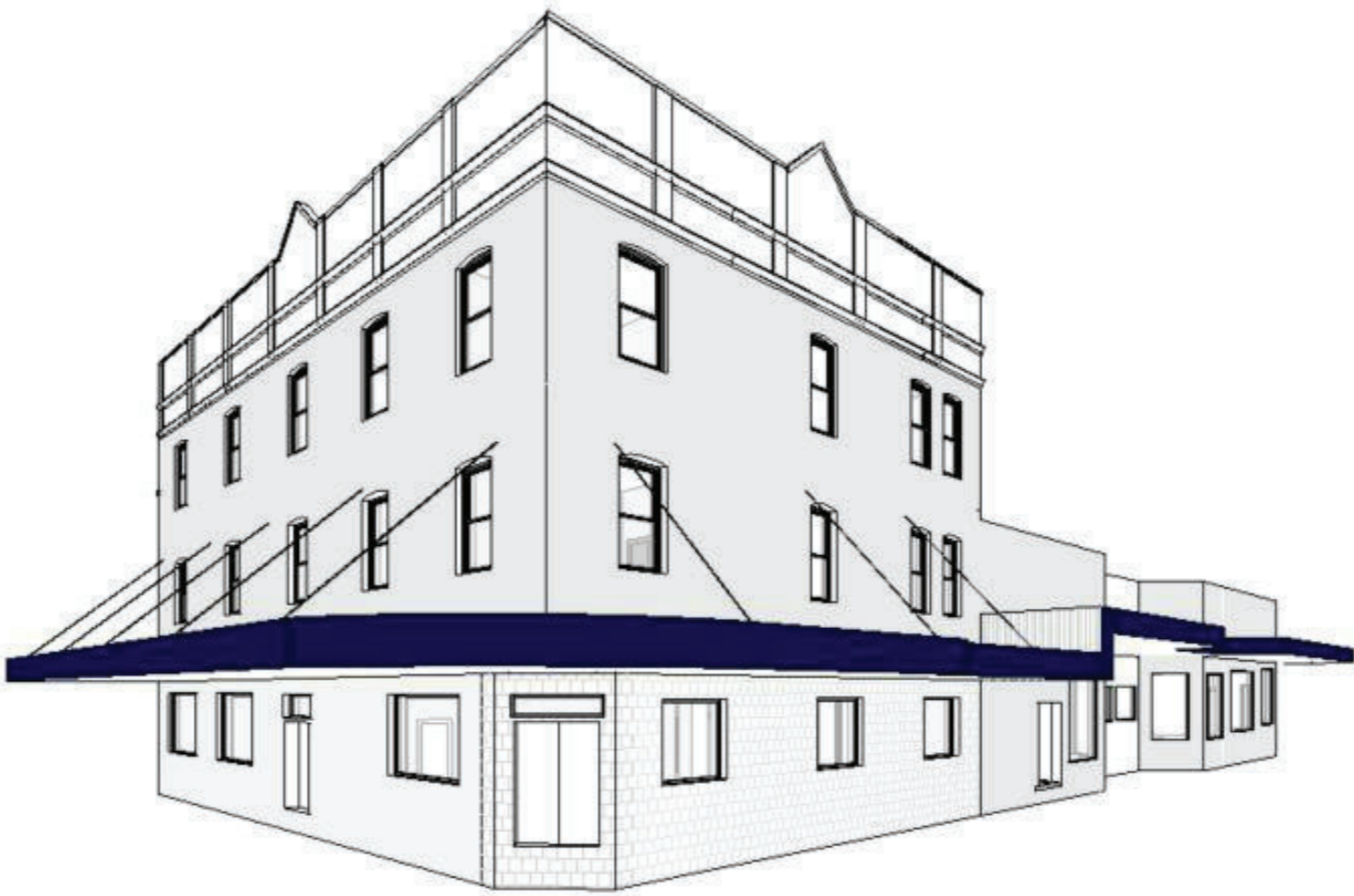
LITHGOW CITY COUNCIL

STATUS:

DEVELOPMENT APPLICATION



LOCATION MAP



PERSPECTIVE

DRAWING SCHEDULE	
DWG	DESCRIPTION
DA01	COVER SHEET
DA02	SITE PLAN & SPECIFICATIONS
DA03	CONSTRUCTION MANAGEMENT PLAN
DA04	EXISTING & DEMO - GROUND FLOOR PLAN
DA05	EXISTING & DEMO - FIRST FLOOR PLAN
DA06	EXISTING & DEMO - SECOND FLOOR PLAN
DA07	PROPOSED GROUND FLOOR PLAN
DA08	PROPOSED FIRST FLOOR PLAN
DA09	PROPOSED SECOND FLOOR PLAN
DA10	ELEVATIONS SHEET 1
DA11	ELEVATIONS SHEET 2
DA12	SECTIONS

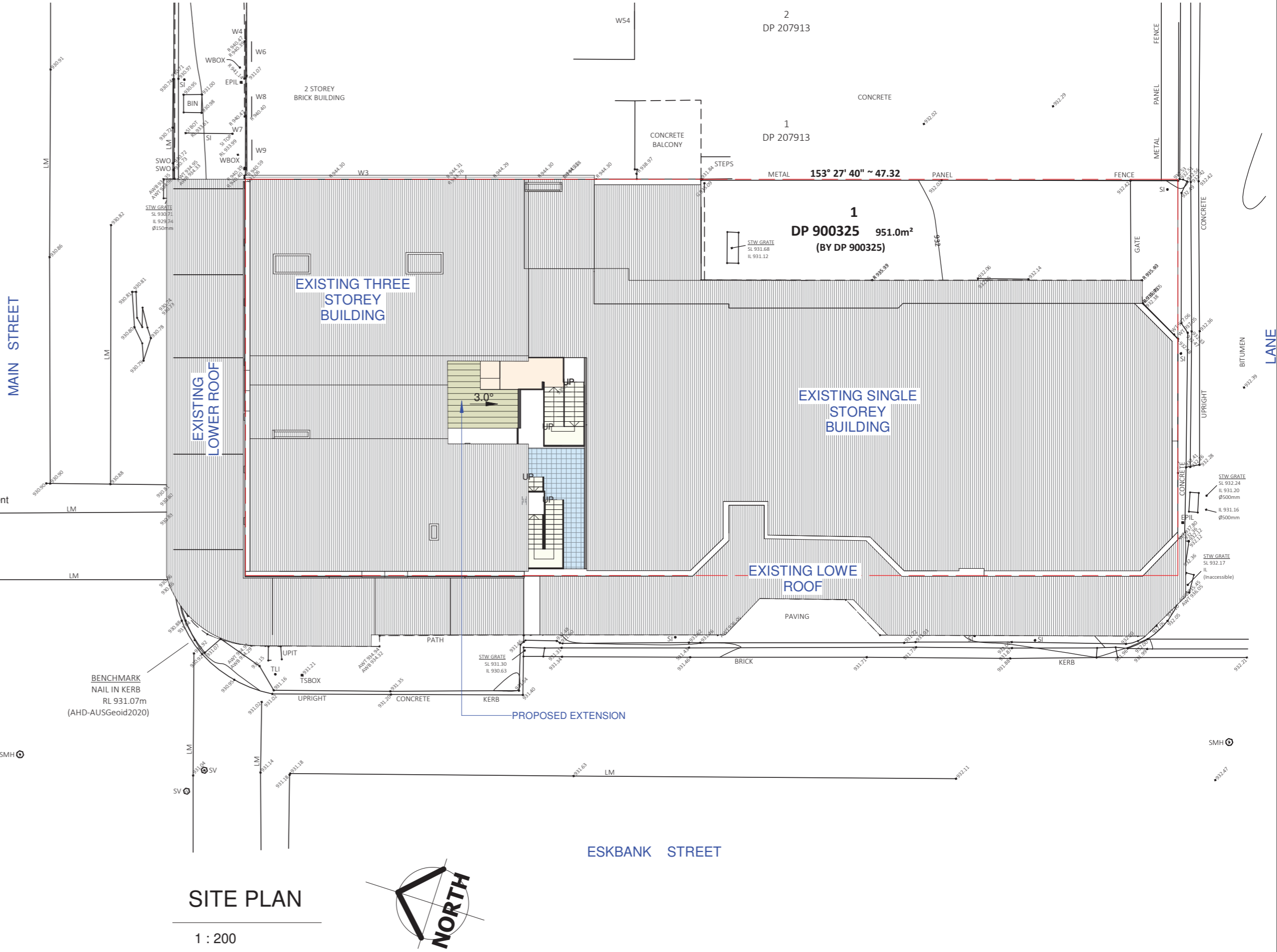
FOR DA SUBMISSION

GENERAL SPECIFICATIONS

The building works included in the subject application will comply with relevant deemed-to-satisfy provisions of the National Construction Code of Australia 2019 and relevant Australian Standards for construction, including (as applicable), but not limited to the following:

- General Provisions as Applicable
- AS 3959 Construction of Building sin Bushfire Prone Areas
- Site Establishment/Demolition
- AS 2601 - The Demolition of Structures
- AS/NZS 4576 - Guidelines for Scaffolding
- AS/NZS 1576.1 - Scaffolding - General Requirements
- AS/NZS 4994.2 - Temporary Roof Edge Protection for Housing and Residential Buildings
- Code of Practice for the Safe Removal of Asbestos, NOHSC:2002
- Guide to the Control of Asbestos Hazards in Buildings and Structures, NOHSC:3002
- Earthworks
- Refer to *Structural Engineers Design and Specifications*
- Earthworks are to be carried out in accordance with the requirements of the Environmental Planning & Assessment Act 1979
- Building Code of Australia Part 3.1.1 - Earthworks
- AS 3798 - Guidelines on Earthworks for Commercial and Residential Developments
- Stormwater Drainage
- Refer to *Hydraulic Engineer's Design and Specifications*
- Building Code of Australia Part 3.1.2 - Drainage
- AS/NZS 3500 - National Plumbing and Drainage Code - Stormwater Drainage
- Retaining Walls
- Refer to *Structural Engineers Design and Specifications*
- AS 1720.1 - Timber Structures - Part 1 - Design Methods
- AS 1720.2 - Timber Structures - Part 2 - Timber Structures - Timber Properties
- AS 3600 - Concrete Structures
- AS 3700 - Masonry Structures
- AS 3798 - Guidelines on Earthworks for Commercial and Residential Developments
- AS 4678 - Earth Retaining Structures
- Drainage and Plumbing
- Refer to *Hydraulic Engineer's Design and Specifications*
- Building Code of Australia Part 3.1.2 - Drainage
- AS/NZS 3499 - Water Supply - Flexible Hose Assemblies
- AS/NZS 3500 - National Plumbing Code
- AS/NZS 3500.1 - Water Supply
- AS/NZS 3500.2 - Sanitary Plumbing and Sanitary Drainage
- AS/NZS 3500.3 - Stormwater Drainage
- AS/NZS 3500.4 - Hot Water Supply
- AS/NZS 3500.5 - National Plumbing and Drainage - Domestic Installations
- AS 3740 - Waterproofing of Wet Areas Within Residential Buildings
- AS 1357.1 - Valves Primarily for Use in Heated Water Systems - Protection Valves
- AS 1357.2 - Valves Primarily for Use in Heated Water Systems - Control Valves
- AS/NZS 4858 Wet Area Membranes
- AS 5601 - Gas Installations
- Termite Protection
- Refer to *Structural Engineer's Design and Specifications*
- Building Code of Australia Part 3.1.3 - Termite Risk Management
- AS 3660.1 - Protection of Buildings from Subterranean Termites
- Upon completion, a durable notice must be permanently fixed to the building in a suitable location, such as a meter box or the like, indicating: the method of protection; the date of installation of the system; and where a chemical barrier is installed, its life expectancy as listed on the National Registration Authority label; and the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity.
- Footings and Slabs
- Refer to *Structural Engineer's Design and Specifications*
- Refer to *Geotechnical Engineer's Report for soil classification*
- Building Code of Australia Part 3.2 - Footings and Slabs
- AS 2870 - Residential Slabs and Footings
- AS 3600 - Concrete Structures
- AS 2159 - Piling - Design and Installation
- Stairs, Balustrades and Pool Fencing
- Building Code of Australia Part 3.9 - Safe Movement and Access
- AS 1926 - Swimming Pool Safety
- Insulation
- Refer to *Architectural Drawings for Insulation Locations and R-Value Requirement*
- Building Code of Australia Part 3.12 - Energy Efficiency
- AS 3999 - Thermal Insulation of Dwellings - Bulk Insulation - Installation Requirements
- AS/NZS 4200.1 - Pliable Building Membranes and Underlays - Part 1 Materials
- AS/NZS 4200.2 - Pliable Building Membranes and Underlays - Part 2 Installation Requirements
- AS/NZS 4859.1 - Materials for the Thermal Insulation of Buildings
- Roof Plumbing
- Refer to *Hydraulic Engineer's Design and Specification*
- Refer to *Architectural Drawings for downpipe locations*
- Refer to *Schedule of External Finishes for Roof Plumbing and Downpipe Selection*
- Building Code of Australia Part 3.1.2 - Drainage
- AS 3500.2 - National Plumbing and Drainage - Sanitary Plumbing and Drainage
- AS 2179.1 - Specifications for Rainwater Goods - Selection and Installation
- AS 2180 - Metal Rainwater Goods - Selection and Installation
- Smoke Alarms and Fire Safety
- Building Code of Australia Part 3.7 - Fire Safety
- AS 2918 - Domestic Solid Fuel Burning Appliances - Installation
- Masonry
- Refer to *Structural Engineer's Design and Specifications*
- Building Code of Australia Part 3.3 - Masonry
- AS/NZS 2904 - Damp-proof courses and flashings
- AS/NZS 2699.1 - Built-in Components for Masonry Construction - Wall Tiles
- AS/NZS 2699.2 - Built-in Components for Masonry Construction - Connections and Accessories
- AS/NZS 2699.3 - Built-in Components for Masonry Construction - Lintels and Shelf Angles (Durability Requirements)
- AS 3972 - Portland and Blended Cements
- AS 3660.1 - Termite Management - New Building Work
- AS 3660.2 - Termite Management - In and Around Existing Buildings and Structures - Guidelines
- Structural Steelwork
- Refer to *Structural Engineer's Design and Specifications*
- Building Code of Australia Part 3.4 - Framing
- AS 4100 - Steel Structures
- AS/NZS 4600 - Cold-formed Steel Structures
- AS 3678 - Structural Steel - Hot Rolled Plates, Floorplates, and Slabs
- AS 1111 - ISO Metric Hexagon Commercial Bolts and Screws
- AS 1554 - Structural Steel Welding
- AS 1163 - Structural Steel - Hollow Sections
- AS 1627.4 - Metal Finishing - Abrasive Blast Cleaning
- AS 1627.5 - Metal Finishing - Pickling, Descaling and Oxide Removal
- AS 2327.1 - Composite Structures - Simply Supported Beams
- AS/NZS 3750.1 - Paints for Steel Structures - Part 1 Epoxy Mastic (Two Pack)
- AS/NZS 3750.13 - Paints for Steel Structures - Part 13 Epoxy Primer (Two Pack)
- AS/NZS 3750.14 - Paints for Steel Structures - Part 14 High-build Epoxy (Two Pack)
- AS/NZS 3750.15 - Paints for Steel Structures - Part 15 Inorganic Zinc Silicate Paint
- Timber Floor, Wall, Roof Framing, Structural Flooring
- Refer to *Structural Engineer's Design and Specifications*
- Building Code of Australia Part 3.4 - Framing
- AS 1684 - Residential Timber Framed Construction
- AS 1720.1 - Timber Structures - Part 1 Design Methods
- AS 1720.2 - Timber Structures - Part 2 Timber properties
- AS 3623 - Domestic metal Framing
- AS 4440 - Installation of Nailplated Timber Roof Trusses
- AS 1680.2 - Particleboard Flooring - Installation
- AS 2269 - Plywood - Structural
- AS 2270 - Plywood and Blockboard for Internal Use
- AS 2271 - Plywood and Blockboard for External Use
- AS/NZS 1604.2 - Reconstituted Wood Based Products
- AS/NZS 1604.3 - Plywood
- AS/NZS 1604.4 - Laminated Timber Veneer
- AS/NZS 1859.1 - Reconstituted Wood Based Panels - Specifications - Particleboard
- AS/NZS 1859.2 - Reconstituted Wood Based Panels - Specifications - Dry Processed Fibreboard
- AS/NZS 1859.3 - Reconstituted Wood Based Panels - Specifications - Decorative Overlaid Wood Panels
- AS/NZS 1859.4 - Reconstituted Wood Based Panels - Specifications - Wet Processed Fibreboard
- AS 1860 - Installation of Particleboard Flooring
- AS 4786.2 - Timber Flooring - Sanding and Finishing
- AS 1657 - Fixed Platforms, Walkways, Stairways and Ladders - Design, Construction and Installation
- Roof and Wall External Linings
- Refer to *Schedule of External Finishes for selection of external linings*
- Building Code of Australia part 3.5 - Roof and Wall Cladding
- AS 2049 - Roof Tiles
- AS 2050 - Installation of Roof Tiles
- AS 1562.2 - Design and Installation of Sheet Roofing and Wall Cladding - Metal
- AS/NZS 1562.2 - Design and Installation of Sheet Roof and Wall Cladding - Corrugated fibre-reinforced Cement
- AS/NZS 4256 - Plastic Roof and Wall Cladding Materials
- AS 1562.3 - Plastic Sheet Roofing
- AS/NZS 4200 - Installation of Pliable Membrane and Underlay
- Ceiling, Wall and Floor Internal Linings
- Refer to *Schedule of Internal Finishes for selection of internal linings*
- AS 2588 - Gypsum Plasterboard
- AS 2589 - Gypsum Linings in Residential and Light Commercial Construction - Application and Finishing
- Landscaping
- Refer to *Architectural Drawings for general landscaping scope and locations*
- AS 4419 - Soils for Landscaping and Garden Use
- AS 4454 - Compost, Soil Conditioners and Mulches
- AS 3743 - Potting Mixes
- AS 3727 - Guide to Residential Pavements
- Windows, Doors and Glazing
- Refer to *Schedules of finishes for window, door and glazing selection and finishes*
- Refer to *Window and Door Schedule for window and door type, size and location*
- Refer to *Architectural Drawings for internal doors location*
- Building Code of Australia Part 3.6 - Glazing
- AS 1268 - Glass in Buildings - Selection and Installation
- AS 2047 - Windows in Buildings - Selection and Installation
- AS/NZS 2208 - Safety Glazing Materials in Buildings
- AS 2688 - Timber Doors
- AS 2689 - Tiber Door Sets
- AS 4285 - Skylights
- AS/NZS 2803 - Doors - Security Screens
- AS/NZS 2804 - Installation of Security Screen Doors
- AS/NZS 4604 - Security window grilles
- AS/NZS 4605 - Installation of Security Window Grilles
- Electrical Installation
- Electrical installation must be undertaken in accordance with the Supply Authority's requirements. The electrical contractor shall obtain relevant approvals and provide the builder with appropriate certificates.
- AS/NZS 3000 - Electrical Installations
- AS/NZS 3006 - Adequate Electrical Installations in Domestic Premises
- Wet Areas
- Building Code of Australia Part 3.8.1 - Health and Amenity
- AS 3740 - Waterproofing of Wet Areas Within Residential Buildings
- AS 4386.1 - Domestic Kitchen Assemblies - Kitchen Units
- AS 4386.2 - Domestic Kitchen Assemblies - Installation
- Painting
- AS/NZS 2311 - Guide to the Painting of Buildings
- AS/NZS 2312 - Guide to the Protection of Structural Steel against Exterior Atmospheric Corrosion by the Use of Protective Coatings

- AS2455 - Textile Floor Coverings - Installation Practice
- AS 3958.1 - Ceramic Tiles - Part 1 Guide to the Installation of Ceramic Tiles
- AS 3958.2 - Ceramic Tiles - Part 2 Guide to the selection of Ceramic Tile System
- AS 2358 - Adhesives for Fixing Ceramic Tiles
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NOTE : AUTOMATIC SPRINKLER SYSTEM TO BE PROPOSED

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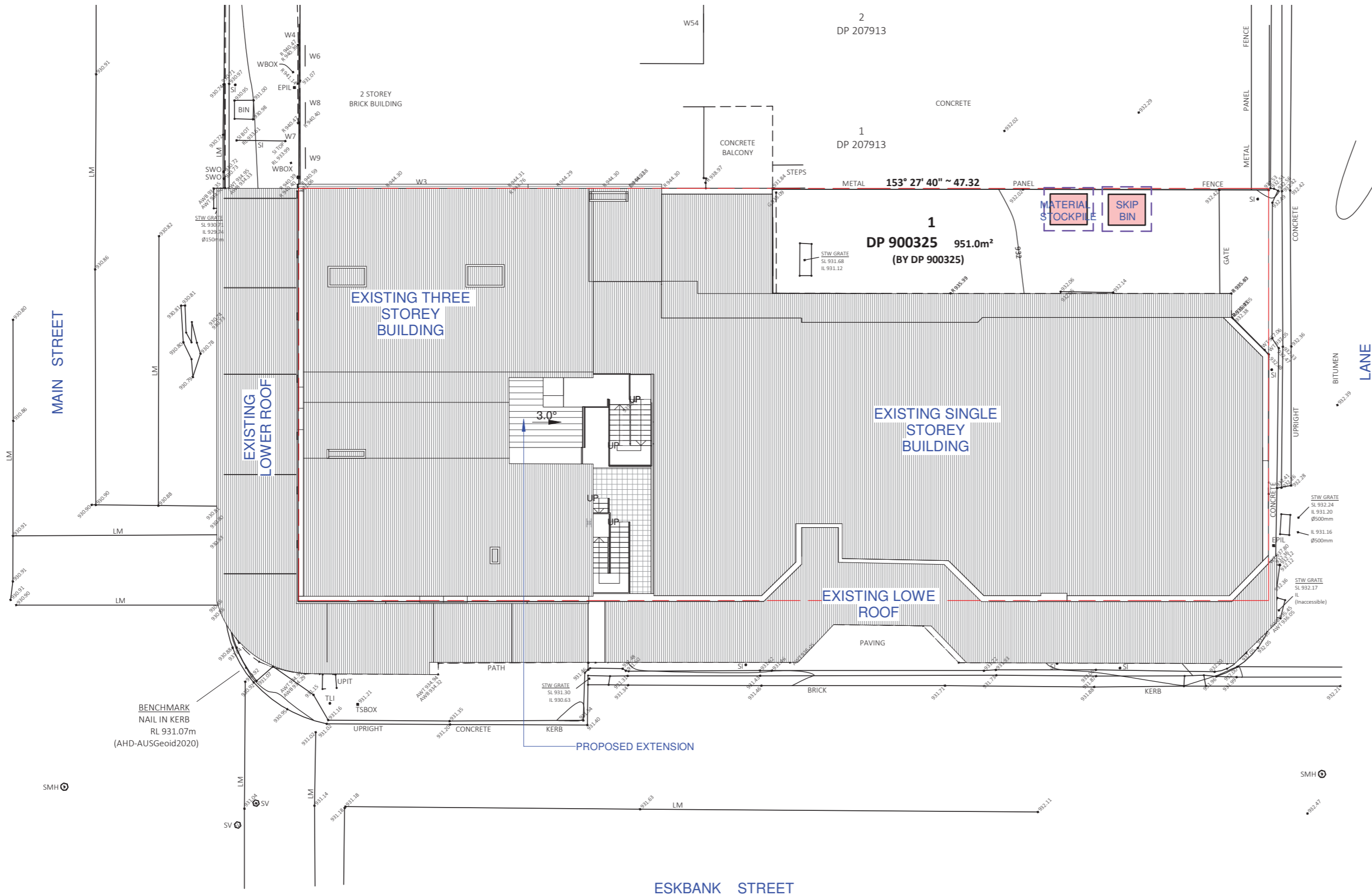
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Thornton, NSW, 2120

PROJECT
PROPOSED ALTERATIONS & ADDITIONS AT
69 MAIN STREET LITHGOW NSW
CLIENT
GRAY HOMES WESTERN SYDNEY INC
DRAWING TITLE
SITE PLAN & SPECIFICATIONS

JOB REF
1380
DRAWING
DA02
DATE
APRIL 2022
SCALE
1 : 200

C	ISSUED FOR APPROVAL	25/04/22
B	ISSUE FOR CLIENT	11/07/21
A	ISSUE FOR CLIENT	04/07/21
REV	AMENDMENT DESCRIPTION	DATE

GENERAL NOTES:
- All work is to comply with the National Construction Code 2019, the requirements of the legally constituted authorities for services and the relevant standards by the Standards Association of Australia.
- Finished ground levels on the plan are subject to site conditions.
- Do not scale from drawings, use figured dimensions only and report any discrepancies to the designer prior to commencement.
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CONSTRUCTION MANAGEMENT PLAN

1 : 200



CONSTRUCTION MANAGEMENT NOTES

- Sediment & Erosion Control:
- The sediment & erosion controls shall be maintained effectively for the duration of the project. They shall not be removed until the site has been stabilised or landscaped to the principal certifying authorities satisfaction.
- A single all weather access way shall be provided at the front of the property consisting of 50-80 mm aggregate or similar material with a minimum thickness of 150 mm laid over needle-punched geotextile fabric and installed prior to any works being commenced on site.
- The contractor shall ensure that no spoil or fill encroaches upon adjacent areas during the project. The contractor shall ensure that all kerb inlets and drains affected by stormwater flow from the site are protected at all times during the project. Kerb inlet sediment traps shall be installed along the immediate vicinity along the street frontage. These shall be regularly maintained during the project.
- The street / road shall be kept clean from dirt and debris from vehicles departing the site.
- Sediment fencing shall be secured to posts (if star pickets or similar are used then plastic safety caps shall be installed on top of the posts) at 2000 mm intervals with the geotextile fabric embedded a minimum of 200 mm into the soil.
- All the topsoil stripped from the site shall be stockpiled such that it does not interfere with drainage lines and stormwater inlet pits. The stockpile shall be suitably covered with an impervious membrane and screened by sediment fencing.
- Soil Conservation:
- Prior to the commencement of the site works the following shall be provided to capture water borne sediments:
- Sediment fencing
 - Sediment trap
 - Washout area
- These shall be maintained regularly during the course of the construction with the sediment trap cleaned after each storm event.
- Sediment Fence:
- Provide sediment fence on down slope boundary as shown on plan.
- Geotextile fabric to be buried 200 mm below ground at the lower edge.
- Drainage area is 0.5 HA with a maximum slope gradient 1:2 and a maximum slope length of 50 m.
- Sediment Trap:
- A 1000 x 1000 mm square by 500 mm deep pit located at the low point of the site.
- Washout Area:
- The washout area shall be 1800 x 1800 mm allocated for the washing of tools and equipment with a minimum thickness off 100 mm clean sand.
- Building Material Stockpiles
- Where there are stockpiles of materials on site they shall be located at least 2000 mm away from any hazard including surfaces with grades greater than 15%, away from zones of concentrated stormwater flows, away from driveways, temporary vehicular accessways, footpaths, nature strips, kerbs, open swales & the drip zone of trees.
- Sediment fencing shall be installed downslope of all stockpiles.
- The stockpile shall be covered with an impervious cover and held down firmly at all corners & sides.

FOR DA SUBMISSION



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CLIENT
GRAY HOMES WESTERN SYDNEY INC
DRAWING TITLE
CONSTRUCTION MANAGEMENT PLAN

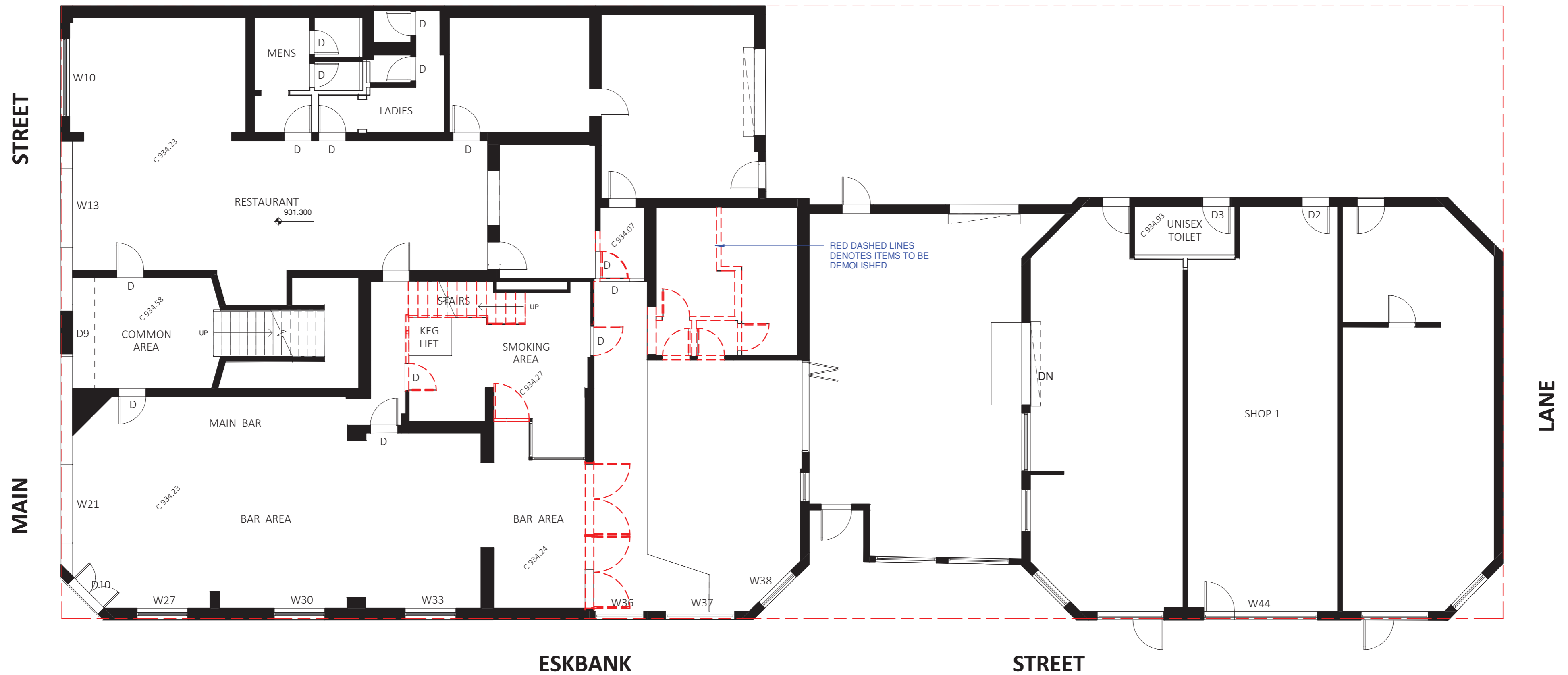
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DATE
APRIL 2022
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AMENDMENT DESCRIPTION

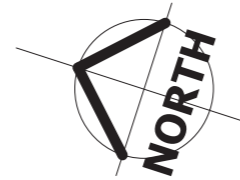
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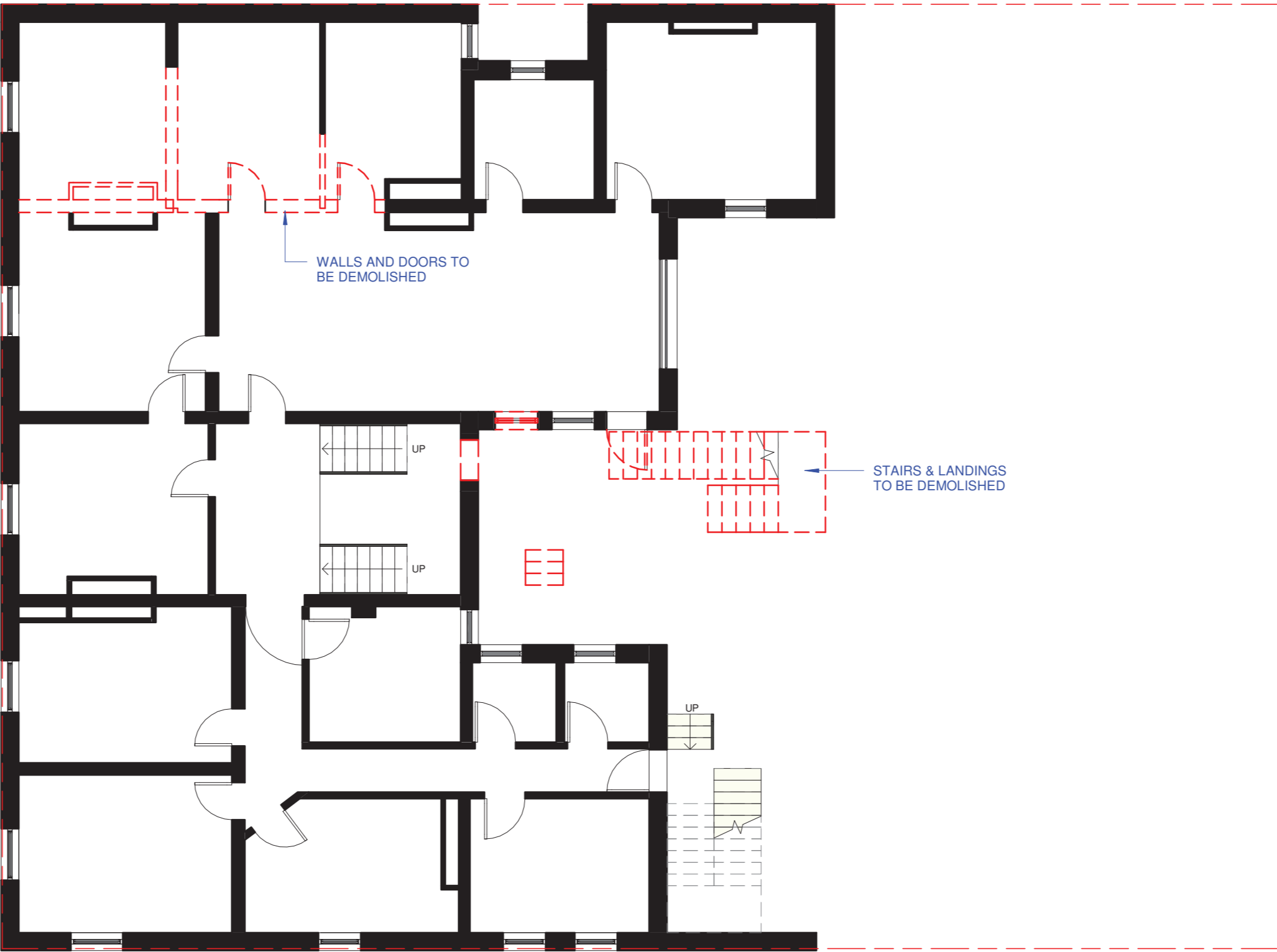
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EXISTING & DEMO - GROUND FLOOR PLAN

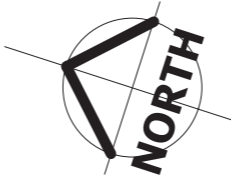
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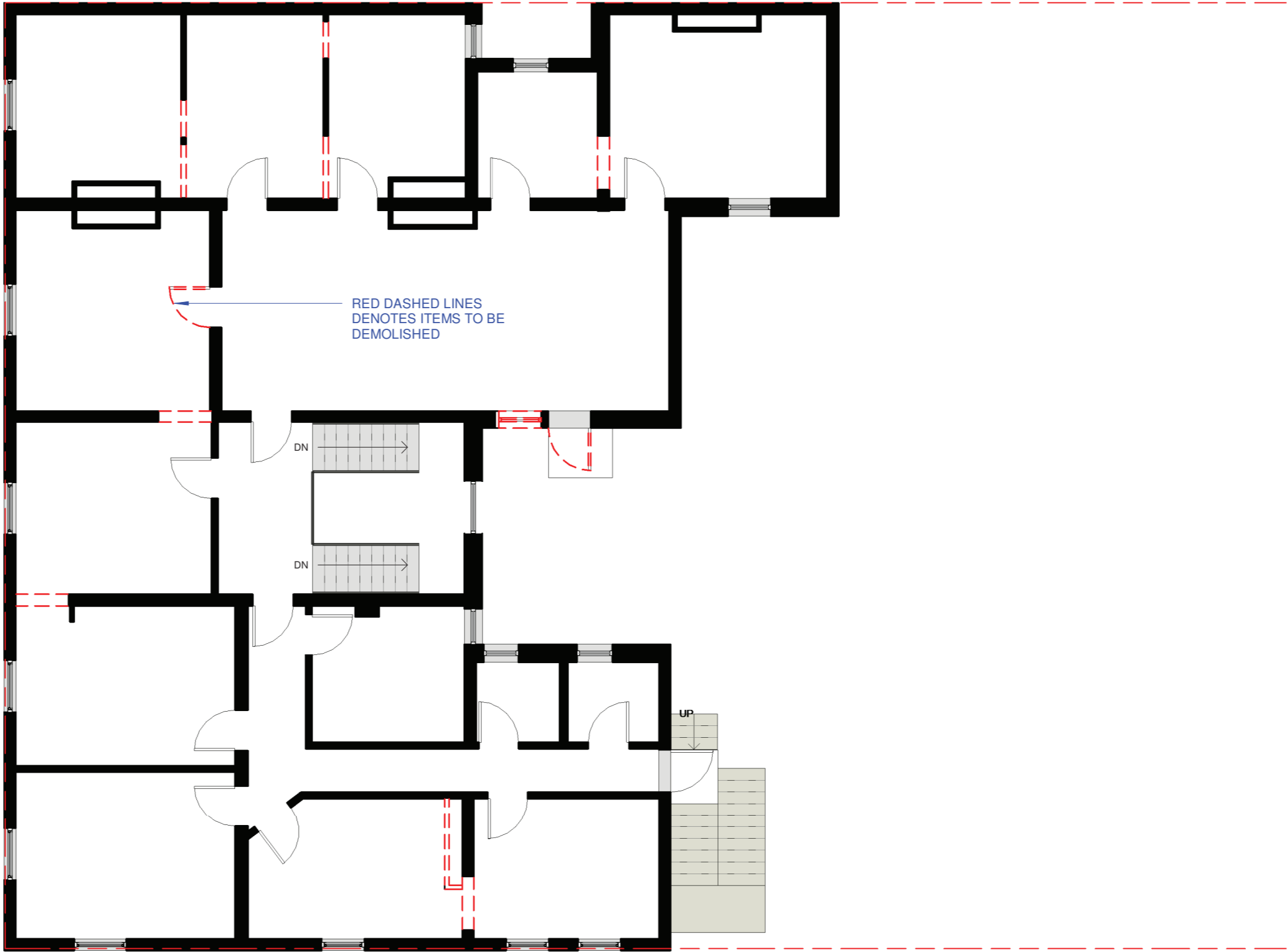




EXISTING & DEMO - FIRST FLOOR PLAN

1 : 100





EXISTING & DEMO - SECOND FLOOR PLAN

1 : 100



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GRAY HOMES WESTERN SYDNEY INC
DRAWING TITLE
EXISTING & DEMO - SECOND FLOOR PLAN

JOB REF
1380
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DATE
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1 : 100

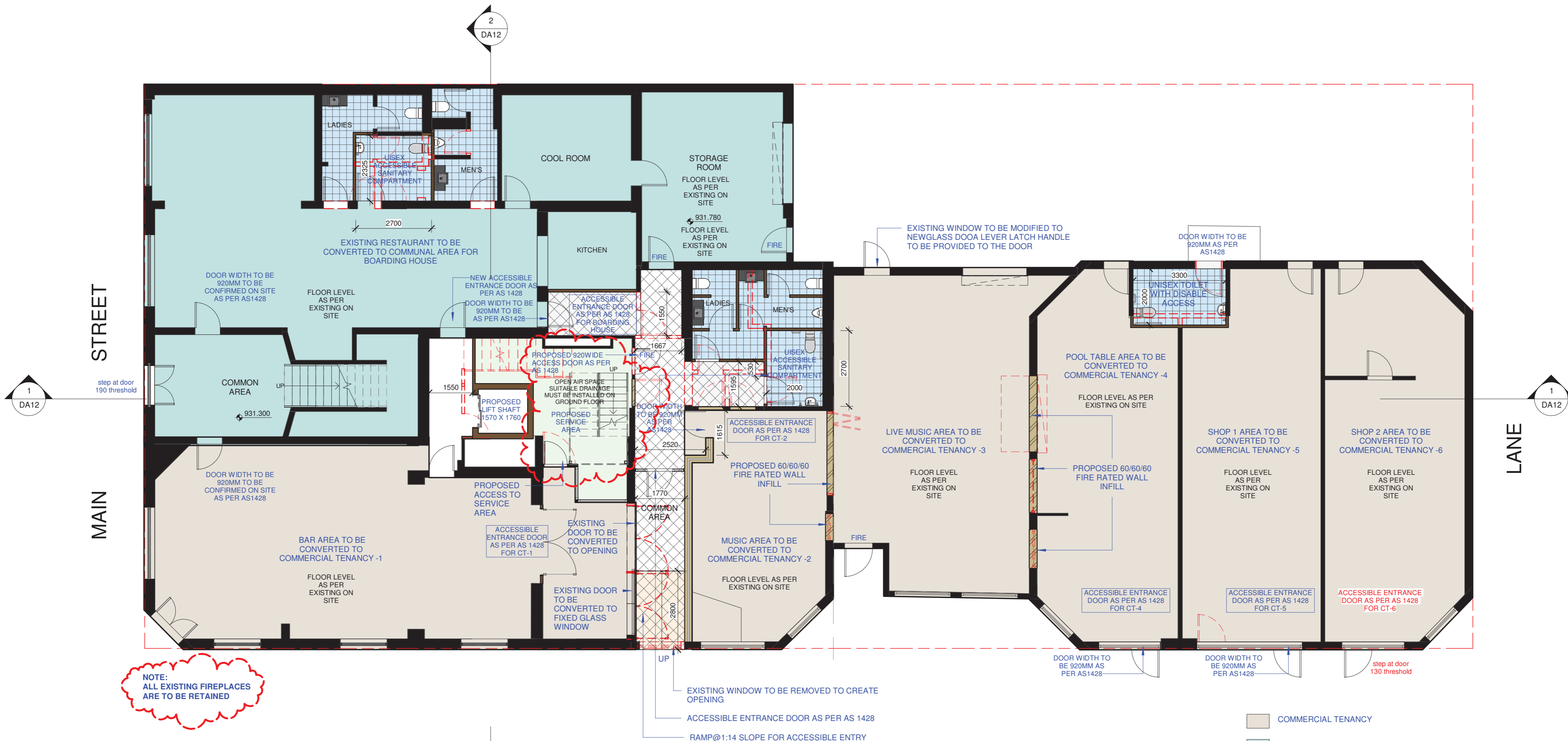
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A2 ORIGINAL SIZE



PROPOSED GROUND FLOOR PLAN

1 : 100

ESKBANK

STREET

LANE

- COMMERCIAL TENANCY
- BOARDING HOUSE
- FIRE ESCAPE PATH / ACCESS PATH

NOTE:
ALL PROPOSED STAIRS TO BE STEEL
FRAMED AND EXPANDED METAL
PAINTED IN BLACK OR SIMILAR.
(STILE TO MATCH EXISTING)

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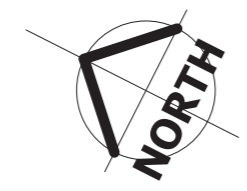
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JOB REF
1380
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DA07
DATE
APRIL 2022
SCALE
1 : 100

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C	ISSUED FOR APPROVAL	25/04/22
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A	ISSUE FOR CLIENT	04/07/21

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STREET

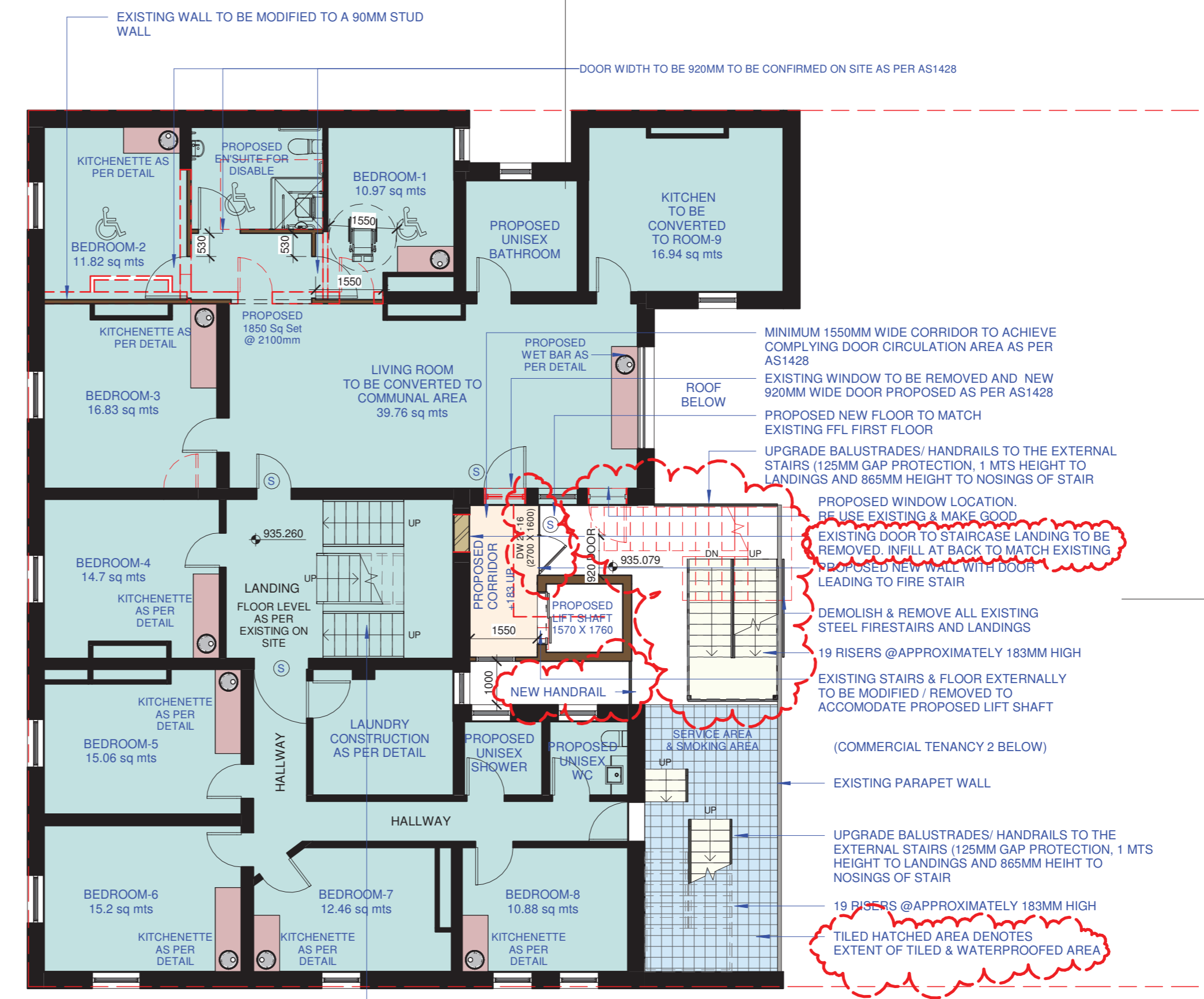
MAIN

ESKBANK

STREET

PROPOSED FIRST FLOOR PLAN

1 : 100



NOTE:
Ⓢ SECURE DOOR WITH KEYPAD ENTRY

NOTE :
DEVICES TO BE PROPOSED TO ALL WINDOWS TO BEDROOMS TO RESTRICT OPENING TO 125MM
ALL LIVING ROOMS, BEDROOMS, BATHROOMS, LAUNDRY AND KITCHEN TO BE FIRE SEPARATED FROM THE PUBLIC CORRIDOR/HALLWAY

NOTE:
ALL EXISTING FIREPLACES ARE TO BE RETAINED

NOTE:
ALL PROPOSED STAIRS TO BE STEEL FRAMED AND EXPANDED METAL PAINTED IN BLACK OR SIMILAR. (STILE TO MATCH EXISTING)

FOR DA SUBMISSION



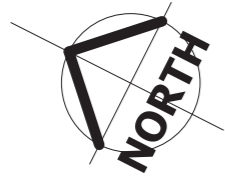
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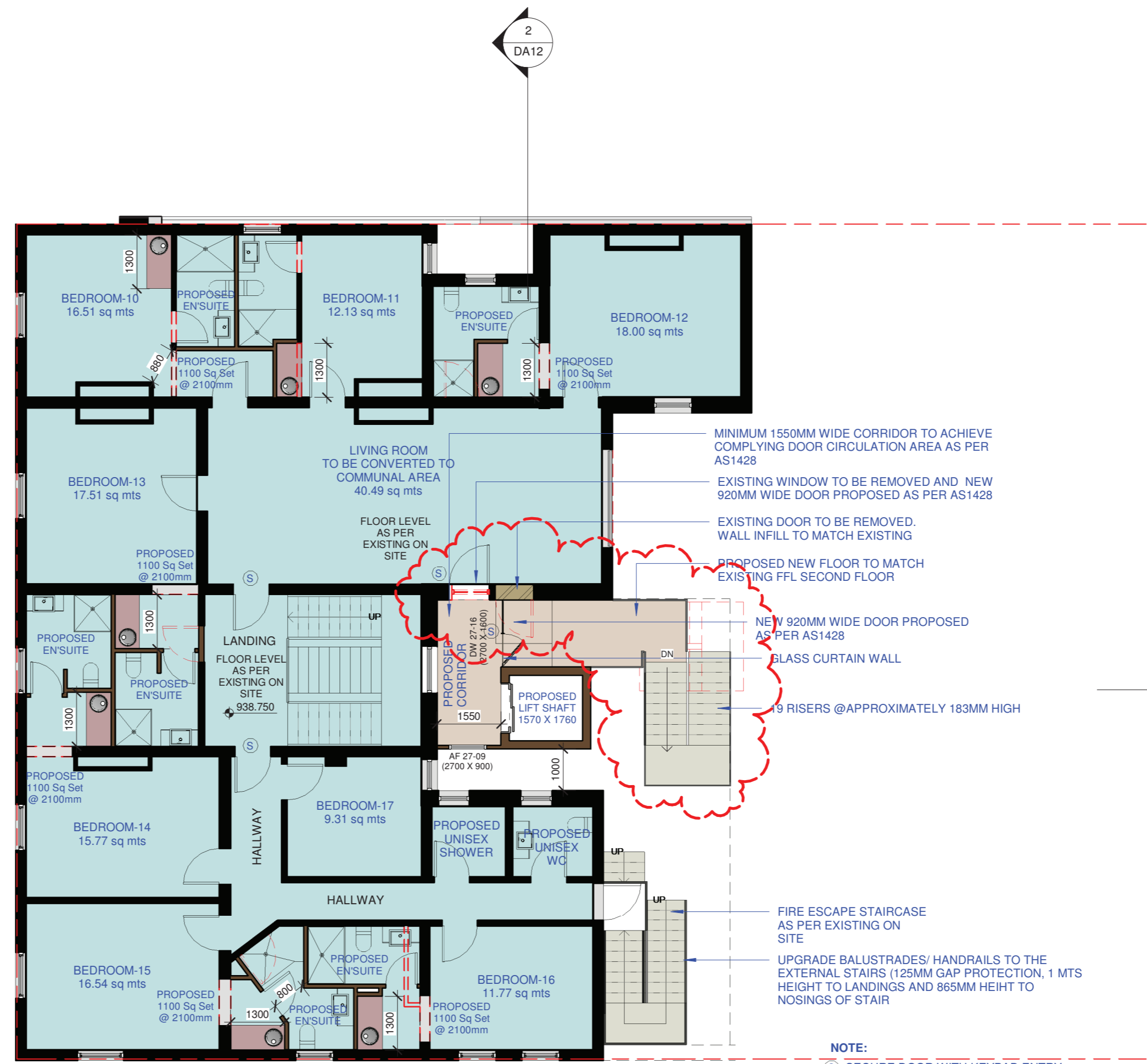
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1 : 100

C	ISSUED FOR APPROVAL	25/04/22
B	ISSUE FOR CLIENT	11/07/21
A	ISSUE FOR CLIENT	04/07/21
REV	AMENDMENT DESCRIPTION	DATE

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STREET
MAIN



ESKBANK
STREET

PROPOSED SECOND FLOOR PLAN
1 : 100

NOTE:
(S) SECURE DOOR WITH KEYPAD ENTRY

NOTE :
DEVICES TO BE PROPOSED TO ALL WINDOWS TO BEDROOMS TO RESTRICT OPENING TO 125MM
ALL LIVING ROOMS,BEDROOMS, BATHROOMS, LAUNDRY AND KITCHEN TO BE FIRE SEPARATED FROM THE PUBLIC CORRIDOR/HALLWAY

NOTE:
ALL EXISTING FIREPLACES ARE TO BE RETAINED

NOTE:
ALL PROPOSED STAIRS TO BE STEEL FRAMED AND EXPANDED METAL PAINTED IN BLACK OR SIMILAR. (STILE TO MATCH EXISTING)

FOR DA SUBMISSION



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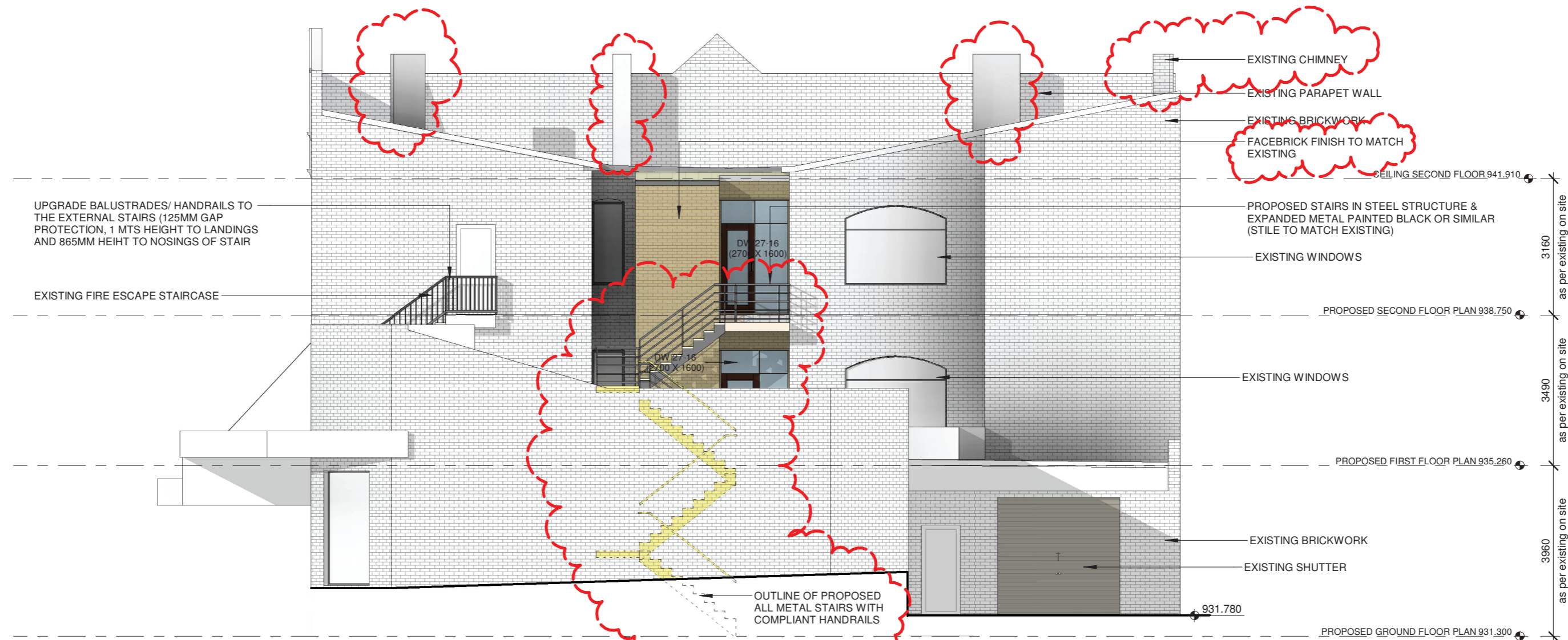
PROJECT
PROPOSED ALTERATIONS & ADDITIONS AT
69 MAIN STREET LITHGOW NSW
CLIENT
GRAY HOMES WESTERN SYDNEY INC
DRAWING TITLE
PROPOSED SECOND FLOOR PLAN

JOB REF 1380	DRAWING DA09			
DATE APRIL 2022		C	ISSUED FOR APPROVAL	25/04/22
		B	ISSUE FOR CLIENT	11/07/21
		A	ISSUE FOR CLIENT	04/07/21
SCALE 1 : 100		REV	AMENDMENT DESCRIPTION	DATE

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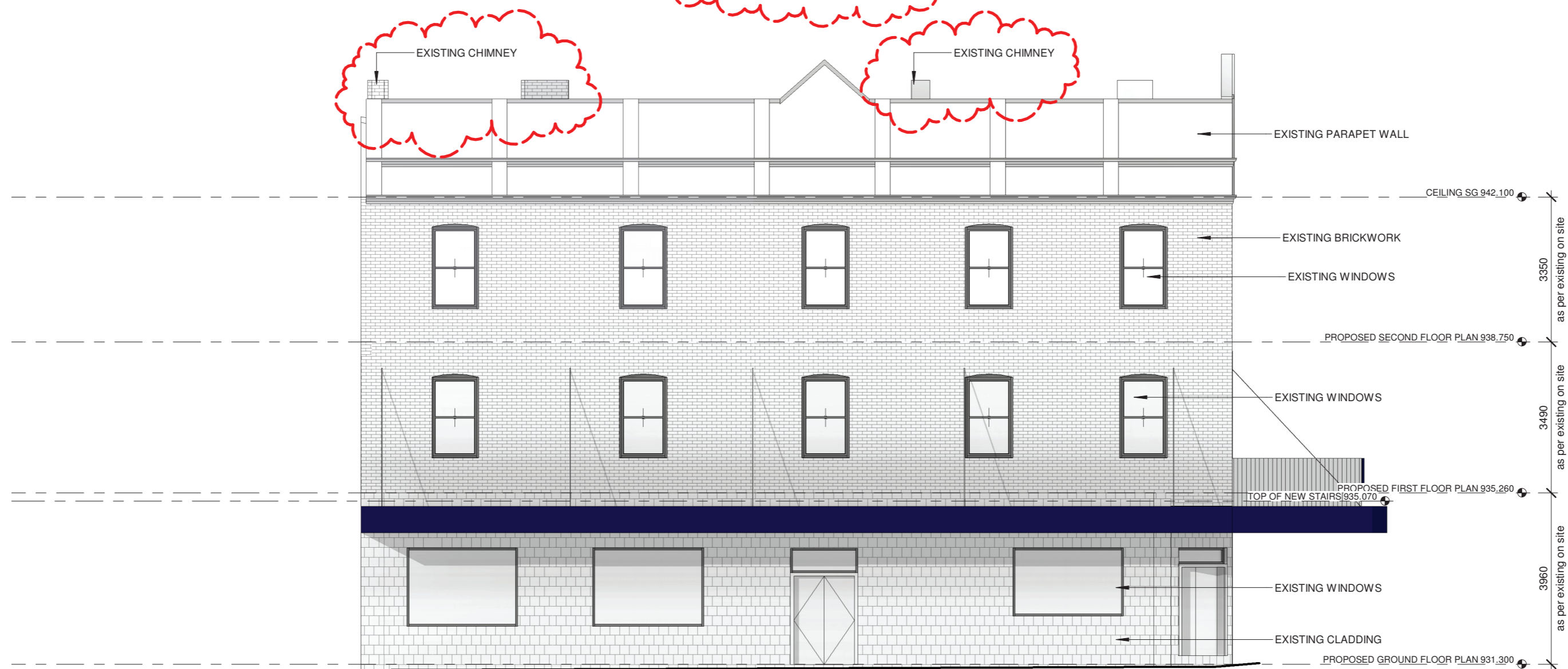
RIGHT ELEVATION

1 : 100



LEFT ELEVATION

1 : 100



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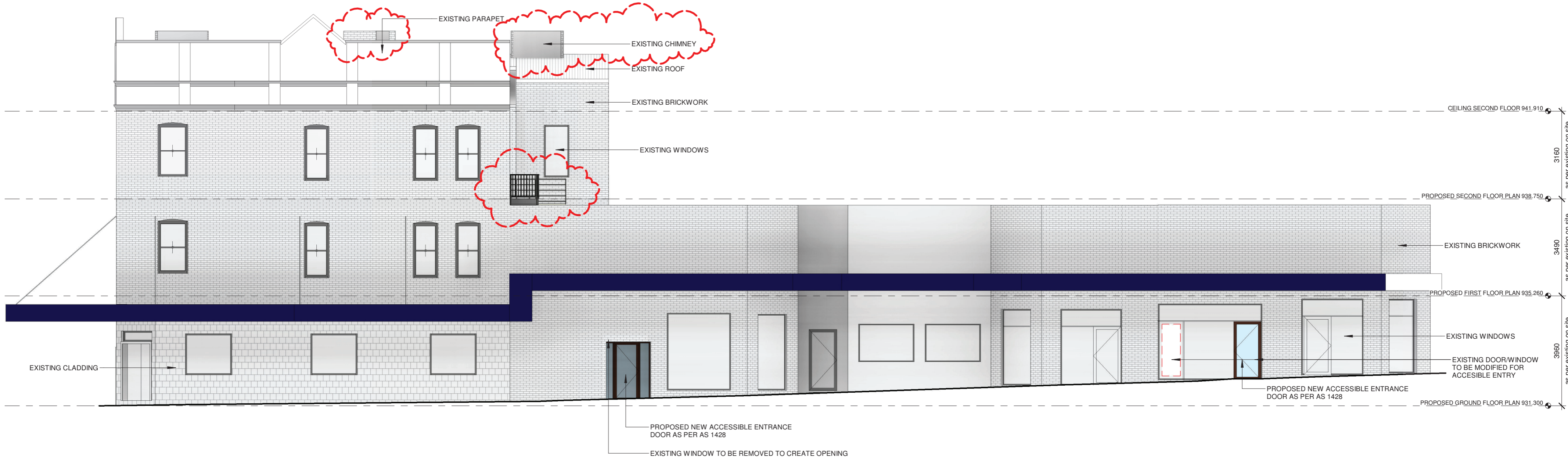
PROJECT
PROPOSED ALTERATIONS & ADDITIONS AT
69 MAIN STREET LITHGOW NSW
CLIENT
GRAY HOMES WESTERN SYDNEY INC
DRAWING TITLE
ELEVATIONS SHEET 1

JOB REF
1380
DRAWING
DA10
DATE
APRIL 2022
SCALE
1 : 100

REV	AMENDMENT DESCRIPTION	DATE
C	ISSUED FOR APPROVAL	25/04/22
B	ISSUE FOR CLIENT	11/07/21
A	ISSUE FOR CLIENT	04/07/21

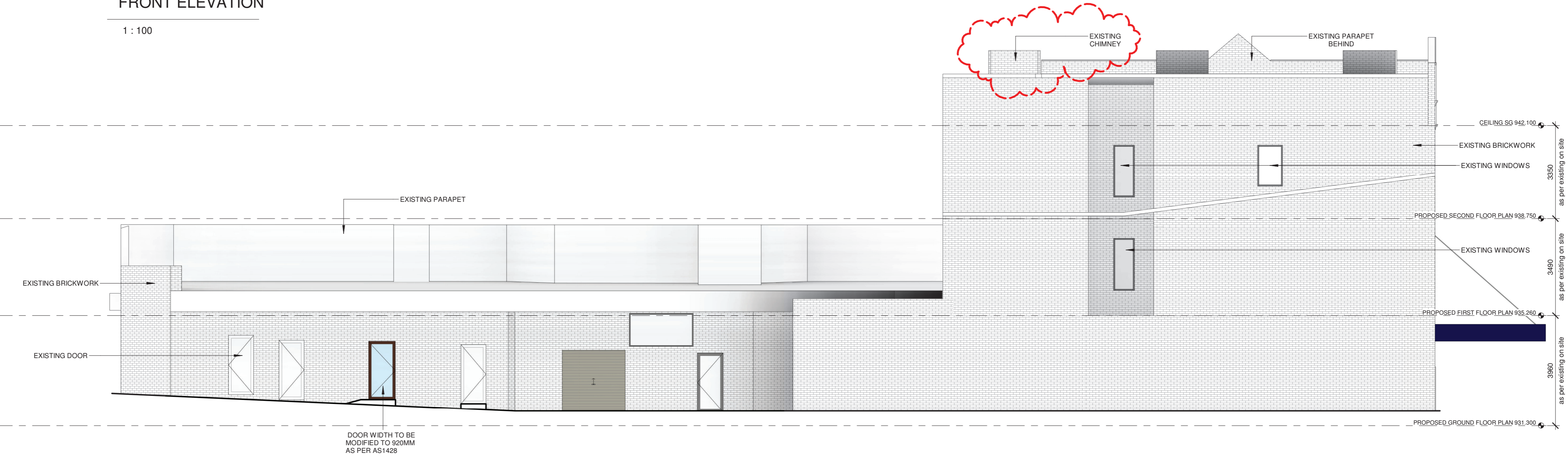
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A2 ORIGINAL SIZE



FRONT ELEVATION

1 : 100



REAR ELEVATION

1 : 100

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DELVE

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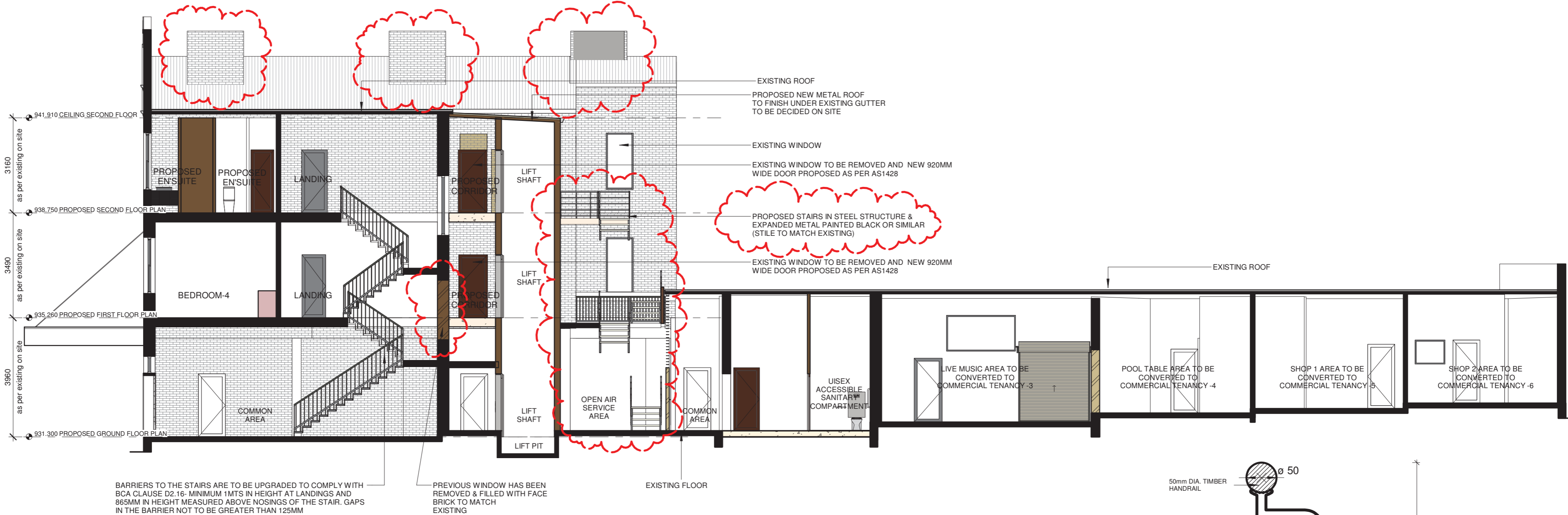
PROJECT	PROPOSED ALTERATIONS & ADDITIONS AT 69 MAIN STREET LITHGOW NSW
CLIENT	GRAY HOMES WESTERN SYDNEY INC
DRAWING TITLE	ELEVATIONS SHEET 2

JOB REF	1380	DRAWING	DA11		
DATE	APRIL 2022		C	ISSUED FOR APPROVAL	25/04/22
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			A	ISSUE FOR CLIENT	04/07/21
SCALE	1 : 100		REV	AMENDMENT DESCRIPTION	DATE

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CROSS SECTION 1-1

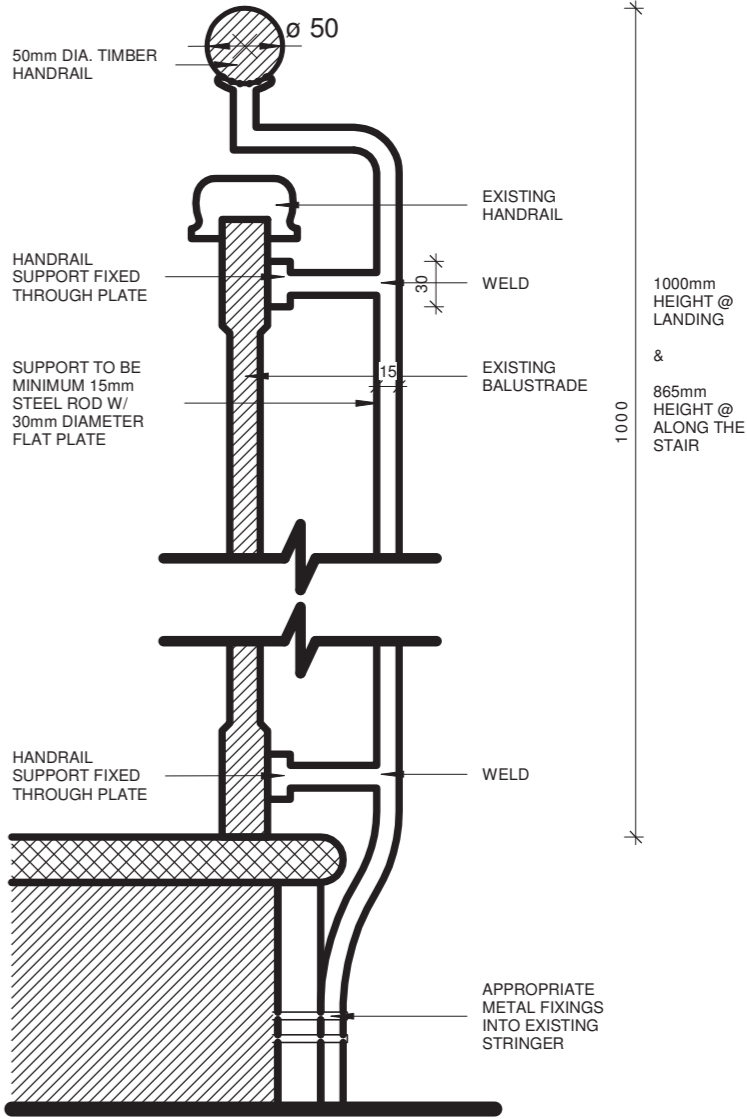
1 : 100



NOTES:
ALL DIMENSIONS & WINDOWS / DOORS SIZES TO BE
CONFIRMED ON SITE

CROSS SECTION 2-2

1 : 100



NOTE:
STRUCTURAL INTEGRITY OF PROPOSED
SYSTEM TO COMPLY @ AS1170

NOTE:
MINIMUM DISTANCE BETWEEN EACH
HANDRAIL (UNOBSTRUCTED PATH) IS TO
BE 1000mm OR EXISTING STAIR WIDTH

NOTE:
HANDRAIL COMPLIES WITH AS1428.1. SIZES AND DIMENSIONS
ARE TO BE CONFIRMED ON SITE

EXISTING INTERNAL HANDRAIL DETAIL

1 : 5

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PROJECT
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69 MAIN STREET LITHGOW NSW
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DRAWING TITLE
SECTIONS

JOB REF
1380
DATE
APRIL 2022
SCALE
As indicated
DRAWING
DA12

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A2 ORIGINAL SIZE